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MIDTOWN RESERVE

AMENDED AND RESTATED DESIGN GUIDELINES [RESIDENTIAL]

THIS DOCUMENT AMENDS AND RESTATED IN ITS ENTIRETY THAT CERTAIN MIDTOWN RESERVE DESIGN GUIDELINES, BEING EXHIBIT C TO THAT CERTAIN FIRST AMENDED AND RESTATED DECLARATION OF CONVENANTS, CONDITIONS AND RESTRICTIONS OF MIDTOWN RESERVE (FORMERLY LAKEWAY RESERVE), RECORDED AS DOCUMENT NO. 1367660 IN VOLUME 15471, PAGE 24 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS, AS AMENDED FROM TIME TO TIME.

ADOPTED:

DM-CSDR, INC., a Texas corporation

By: [Signature]
James Murr, President

THE STATE OF TEXAS §
 §
COUNTY OF Brazos §

This instrument was acknowledged before me on this 11 day of November, 2023 by James Murr, President of DM-CSDR, INC., a Texas corporation, on behalf of said corporation.

[Signature]
Notary Public, State of Texas

(seal)



Adopted by Declarant in accordance with Section 6.4.2 of Midtown Reserve Second Amended and Restated Declaration of Covenants, Conditions and Restrictions, recorded as Document No. 1515538 in Volume 18921, Page 77 of the Official Public Records of Brazos County, Texas (the "Covenant"), which amended and restated that certain First Amended and Restated Declaration of Covenants, Conditions and Restrictions of Midtown Reserve (formerly Lakeway Reserve), recorded as Document No. 1367660 in Volume 15471, Page 24 of the Official Public Records of Brazos County, Texas, which amended and restated that certain Declaration of Covenants, Conditions and Restrictions of Lakeway Reserve, recorded at Volume 14405, Page 154 of the Official Public Records of Brazos County, Texas, as amended from time to time.

MIDTOWN RESERVE DESIGN GUIDELINES

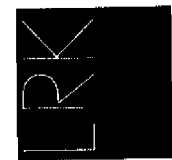
COLLEGE STATION, TX

12/08/2017

CREDITS & CONTENTS

These Design Guidelines are provided as a straightforward guide to assist architects, house designers and builders in understanding the comprehensive level of planning, design principles, and implementation that is required for new homes, improvements and additions within Midtown Reserve.

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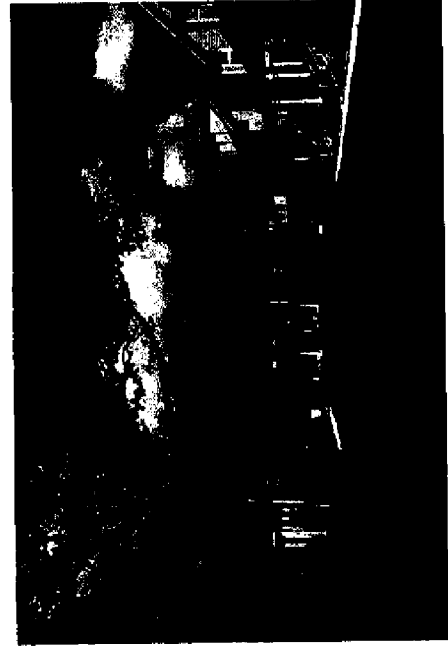
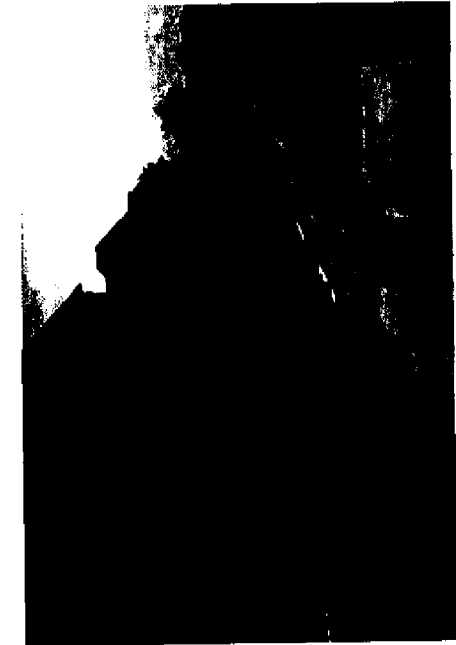
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INTRODUCTION

OVERVIEW OF GUIDELINES DESIGN REVIEW PROCESS

OVERVIEW OF GUIDELINES



These Design Guidelines are intended to create a complete integrated community of streetscapes and buildings that are based upon American town building principles. While each building shall stand on its own design merit, it is intended that each individual building will contribute to the desired community character so that the compatibility, long-term quality and appreciation of value may be optimized for all involved. These Design Guidelines are not intended to reproduce historical buildings, but rather result in streetscapes featuring a variety of distinct but harmonious architectural styles using timeless design principles, modern materials and current building practices.

These guidelines and the information contained herein are intended as a general and sometimes specific guide to owners, architects, and builders as to the general style, character, and level of quality required for homes and improvements within the neighborhood of Midtown Reserve.

The guidelines are not intended to be subjective value judgments of the images and elements indicated, but instead are provided to illustrate the intended design character of the neighborhood. While the images and elements contained herein are not fully comprehensive in scope, they will be used by the Architectural Control Committee (ACC) as a standard for reviewing new homes or improvements. The ACC will have the exclusive authority to define any term or interpret the applicability of any item or component in part or whole contained in these Design Guidelines.

These Design Guidelines are the basis for the ACC to evaluate submissions for new homes, improvements and additions within Midtown Reserve.

The ACC will have the power to approve, conditionally approve or deny any proposed building or improvement. A building or improvement designed of a character not shown in the Design Guidelines, but which is architecturally compatible with the appropriate character contained herein, may be permitted by the ACC. In such instances, it is required that a preliminary concept plan, elevations or photos of intent be submitted for review prior to the preparation of detailed plans. Any approval or denial by the ACC does not set precedent for future reviews.

In addition to the appropriate architectural images, details, and materials, the main design elements that must be adequately addressed and that will be reviewed for compliance are:

- Site plan and building orientation
- Garage location, access, and architectural treatment
- Location and screening of all utility/service elements
- Streetscape character/relationship to surroundings
- Overall house image, style, and character - front, sides, and rear
- Scale, massing and proportions
- Roof lines, roof elements, and cornices
- Facade composition and forms
- Exterior materials, colors and detailing
- Front entry, porches, columns and details
- Doors, windows, and shutters
- Secondary porches, decks, terraces, details, balconies, etc.
- Ceiling, roof and window plate heights
- Chimney design and materials
- Location and character of exterior lighting

These Design Guidelines have been produced in an 11" x 17" color format. The use of these Design Guidelines, including information and imagery contained within, is solely at the risk of the user. The Developer and the ACC, and their employees and agents, shall have no liability or responsibility to any party in connection with the use of these Design Guidelines or for comments, suggestions and/or redesigns from the actual design review process. Any person or entity using these Design Guidelines shall do the following:

- Independently evaluate any design image, character, element, material or detail contained herein, and ascertain its suitability for such person's or entity's intended use.
- Ensure that all designs prepared in connection with the use of these Design Guidelines meet all applicable regulations of Federal, State, and local requirements, including but not limited to, all applicable zoning, building construction codes, accessibility requirements, fire sub-codes and other life safety provisions necessary for the intended use of any property.

DESIGN REVIEW PROCESS

Schematic Design Submittal:

The Schematic Design submittal is the first detailed review of the house design to assure overall concept, style, and detailing is compatible with design requirements and intent of the Project. Schematic Design review will include notes of acceptance, items of non-compliance, and/or items of importance to be addressed in Construction Document submittal. Designs may be rejected outright due to non-conformance. Any rejected designs will have notes stating reasons for rejection. Submitters, at their sole risk, may skip the Schematic Design Submittal. The required information for a consistent level of review for each Schematic Design submittal is as follows:

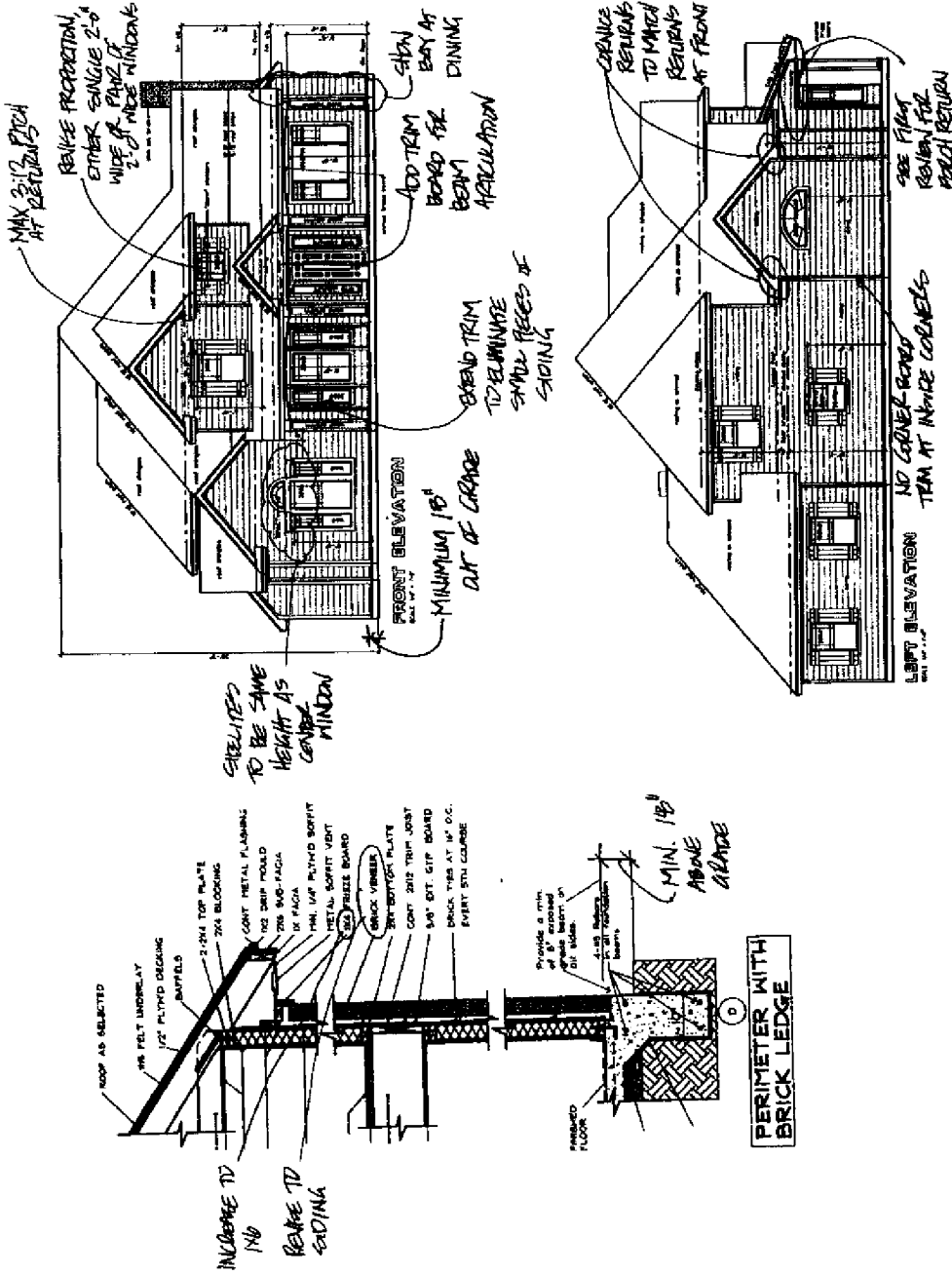
- Site Plan (minimum 1" = 20'-0")
- Floor Plans (minimum 1/8" = 1'-0")
- Primary Exterior Elevations (minimum 1/8" = 1'-0")

Construction Document Submittal:

The Final Review/Construction Document submittal is the final detailed review of the proposed plans. This submittal will verify the incorporation of previous comments and provide complete documentation of the design prior to start of construction for review and approval. The required information for a consistent level of review for each submittal is as follows:

- A site plan showing building location, driveway, refuse, and service areas.
- All floor plans and exterior elevations (Scale 1/4" = 1'-0" preferred, 1/8" = 1'-0" at a minimum) showing:
 - Plate heights
 - Door and window head rough heights
 - Finished ceiling heights
- A complete product line exterior color palette and materials, i.e., siding (size, exposure and type), stucco, brick, stone, and roofing.
- Typical cornice/eave/overhang details (Scale 1/2" = 1'-0").
- Typical door/window head, jamb, and sill details (Scale 1/2" = 1'-0").
- Porch/Balcony Details (Scale 1/2" = 1'-0"). This shall designate "rough" and "finish" beam placement and heights, column details, porch framing and finish materials, handrails, and overhang details.
- Dormer Details (Scale 1/2" = 1'-0")
- A landscape plan showing:
 - Plantings (showing location, quantity, size and common botanical name of new plant material, as well as existing trees)
 - Site Lighting
 - Proposed grading and drainage
 - Locations and any details for walls, fences, gates, walkways, patios, pools and fountains, etc.

Construction Document submittals will be marked as either approved, approved as noted, revise and resubmit, or rejected. Submittal Reviews will be returned within ten (10) business days of the ACC receipt of drawings. Drawings shall be submitted in digital versions as PDF format. The review comments will be distributed to the Client and/or the Client's architect/engineer, as well as to any other specified parties, in a PDF format that includes mark-ups, notations, comments on the submitted documents, and/or front elevation "sketch-over" redesigns and miscellaneous detail "sketch-over" redesigns if required.



Note: The submittal review sample images shown are for example only.

COMMUNITY GUIDELINES

SITE PLANNING
LOT TYPES
FRONTAGE ELEMENTS
GARAGES

SITE PLANNING

BUILDING PLACEMENT & ORIENTATION

- The primary facade of a minimum 85% of the houses on one block face shall be located along or near the front setback line to establish a compatible streetscape. Homes may be located behind the front setback when deemed appropriate by the ACC.
- Buildings shall be sited towards and relate to the street or adjacent common space.
- Social areas of the home such as the living room and dining room should be oriented to the street or adjacent common space whenever possible.
- Each building shall have a walkway connection between the front entrance and the adjoining public sidewalk.

UTILITIES & EQUIPMENT

- Electrical and gas utility meters and AC condensers shall be unobtrusively located and screened from view from adjacent streets or common open spaces with landscaping or appropriate fencing.
- Transformers on individual lots shall be screened to minimize visual impact.
- Satellite dishes, and solar panels shall be located in less conspicuous locations and out of view from adjacent streets or common open spaces when possible.
- Antennas shall be located inside the building when possible.
- Solar panels when visible from the front shall be flush with the roof.

REFUSE LOCATIONS

- Refuse containers shall be stored within an enclosed storage area, fenced, walled or screened from view from adjacent streets or common open spaces with landscaping.

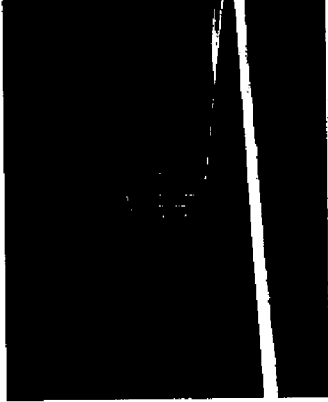
ACCESSORY STRUCTURES

- Pools, spas and accessory structures shall complement the home design.
- Materials and detailing of accessory structures within public view must be approved by the ACC.

VARIETY

- At the community scale, a variety of individual architectural designs with their respective streetscape details, materials and colors are encouraged to create a unique overall compelling streetscape character.
- Building footprints including porches and entry locations, shall generally vary from adjacent homes.
- Detached home designs with the same or similar facades, materials, or colors shall be separated by a minimum of three lots on the same side of the street and shall not be located directly across or diagonally across the street from each other.
- For attached units, architectural styles shall be applied by building rather than by the individual unit. Units with shared walls shall be elevated with the same architectural style.
- A change in color or mirroring the elevation does not constitute a change in the elevation.

YES



Buildings appropriately facing the common space.

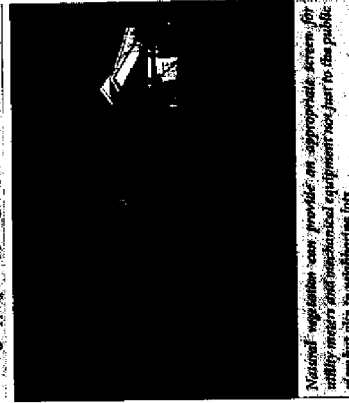


Window vegetation and trees provide an appropriate screen for mechanical equipment.

APPROPRIATE

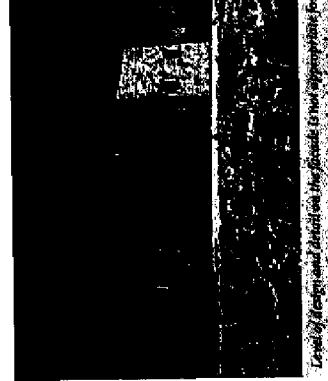


Buildings appropriately facing the public street.

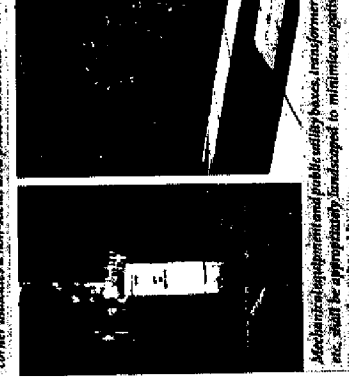


Natural vegetation can provide an appropriate screen for utility meters and mechanical equipment not just to the public view but also to neighboring lots.

INAPPROPRIATE



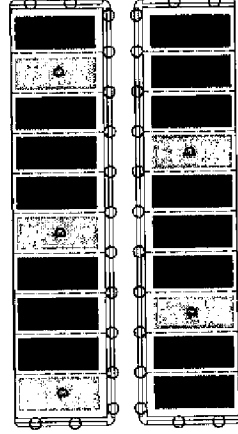
Utility meters and AC units on the ground level appropriate for a facade screened onto a common public area of activities on corner lots at a non-social area placed on corner.



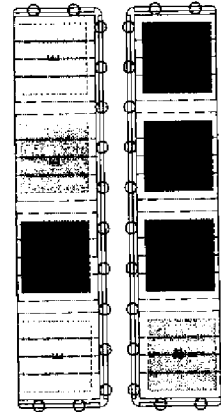
Mechanical equipment and private utility boxes, transformers, etc. shall be appropriately landscaped to minimize negative impact along the public way.

YES

APPROPRIATE VARIETY IN DETACHED HOMES



APPROPRIATE VARIETY IN ATTACHED HOMES



Minimum separation for designs with the same or similar facade, materials, or colors.

SITE PLANNING

SPECIAL CONDITION LOTS

Special Condition Lots are typically located at street corners, at the end of a street intersection or view corridor, and/or against a street or pedestrian path edge that defines common space. Home designs located on Special Condition Lots shall be designed and/or selected to be appropriately responsive to the identified special condition or location. Special Condition Lots and home designs have a greater impact upon the overall character of the community due to their locations of high visibility to either the front and/or the side facades of these homes.

Homes on Special Condition Lots shall exhibit characteristics such as: a prominent well designed front elevation, a side elevation in which the identifiable character and detailing of the front facade continues along the side elevation, a front porch that continues along or turns the corner of the home along the side elevation, or they are easily adaptable to add bay windows or appropriate offsets to the plan and elevations in order to capture the additional corner lot buildable area provided. Each builder's selection of submitted home designs will be reviewed and approved to determine which are, or can be easily adaptable to be considered as an appropriate Special Condition Design. The following are examples of Special Condition Lots/ Homes:

Homes on Corner Lots and Lots with Multiple Frontages

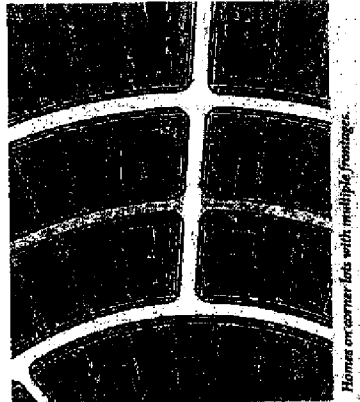
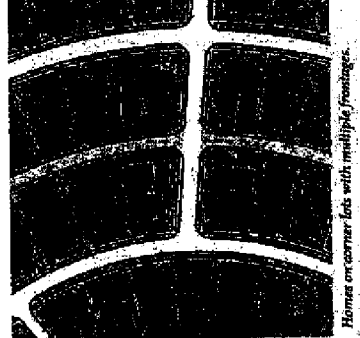
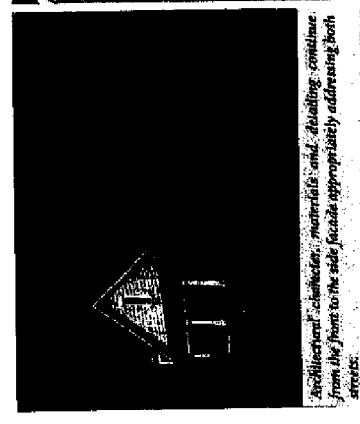
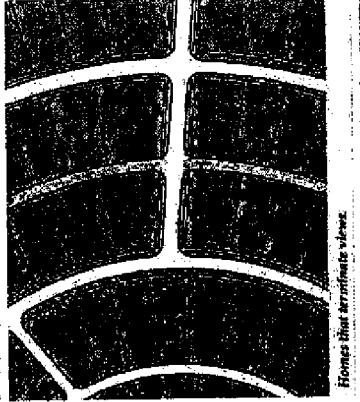
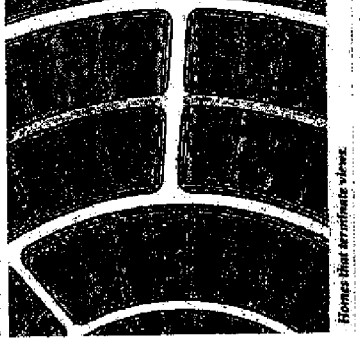
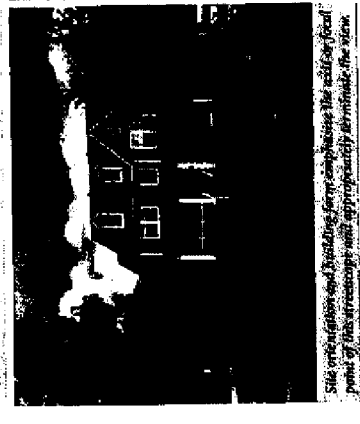
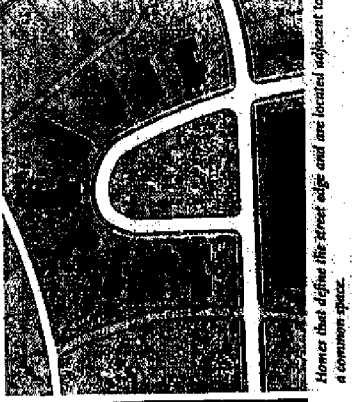
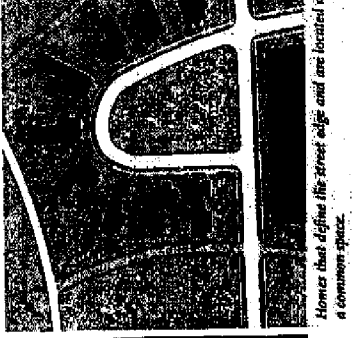
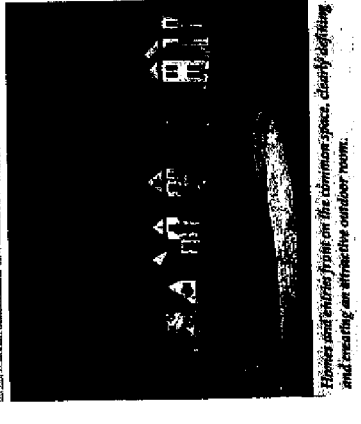
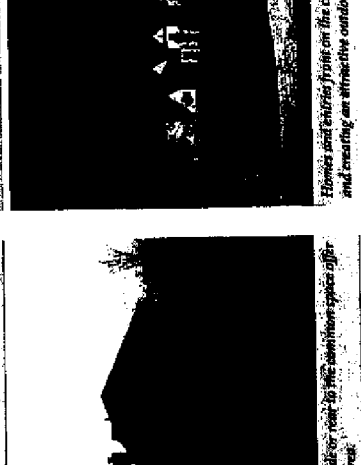


- Homes on lots with two facades fronting to the street or common space shall be designed specifically to respond to these more prominent locations.
- The main body of the house on the primary street shall generally be located parallel to the front setback line to establish a compatible streetscape defining form.
- Architectural character, materials and detailing shall continue from the front facade around the corner to the corner side facade appropriately addressing both primary and secondary street frontages. Wrap around porches or other architectural massing such as projecting bays or forms are recommended to articulate the corner side facade.

Homes on Lots that Terminate Views

- Homes located at the termination of view corridors, vistas or street axes shall require appropriate design considerations regarding building form and architectural treatment, in order to enhance and emphasize a pleasant and desirable terminated view.
- The main body of the house shall be prominent and align with the street axis. Such homes shall not align a front loaded driveway or garage doors with the vista or axis.

Homes on Lots that Define Common Space

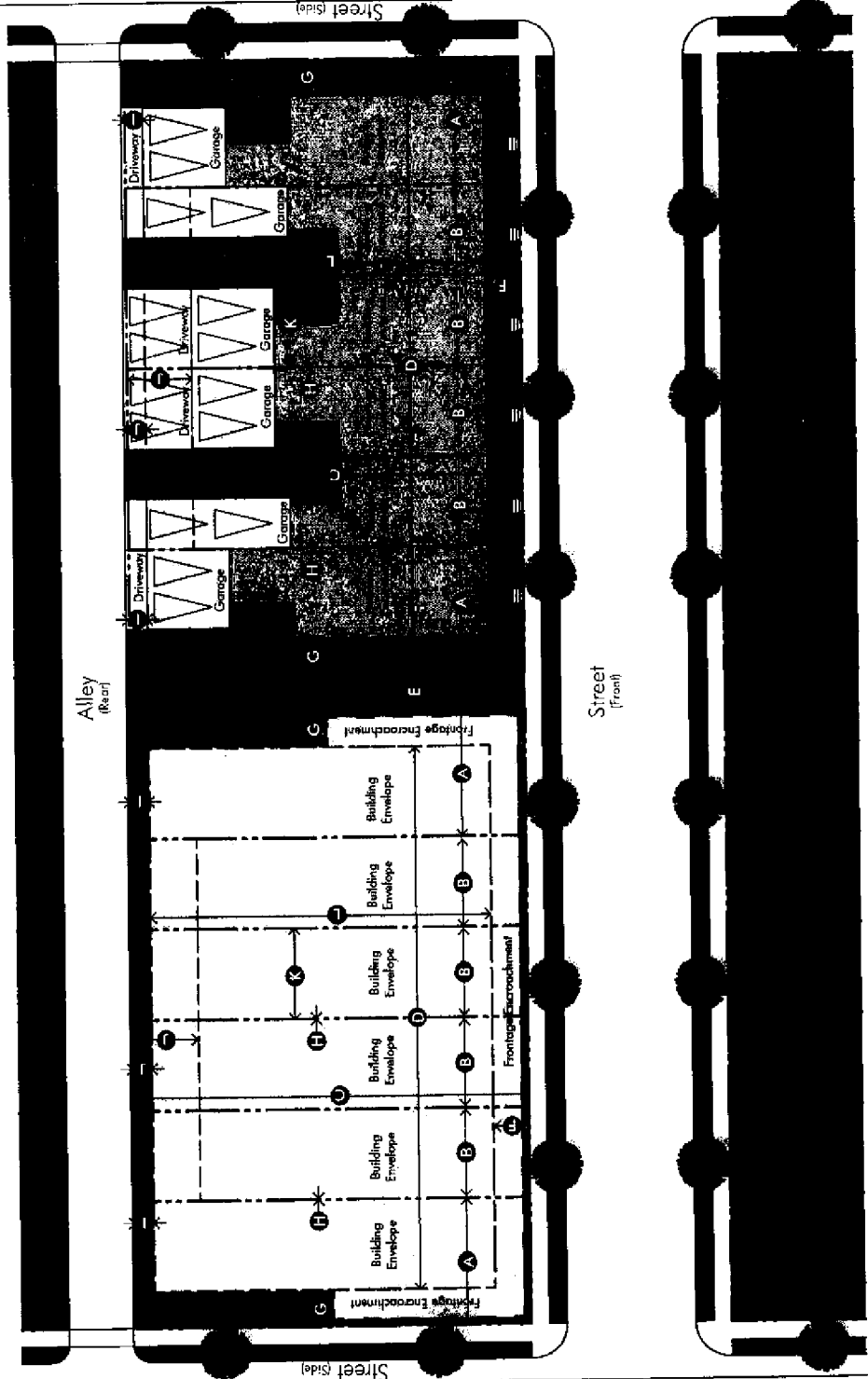
- Facades of homes on lots adjacent to a street edge defining a common space shall be designed to respond to that prominent location.
- These homes shall provide interesting and appropriate facade articulation, which may include porches, bay windows and other elements which respond to both the street and the common space.
- The homes and entries shall be sited to front towards the common space so they clearly define the space and create the 'feeling' of an attractive 'outdoor room'.

YES	APPROPRIATE	NO
 <p>Homes on corner lots with multiple frontages.</p>	 <p>Architectural character, materials and detailing continue from the front to the side facade appropriately addressing both views.</p>	 <p>Inappropriate architectural character, materials, massive irregular form and lack of appropriate detailing fail to address the secondary street facade.</p>
 <p>Homes line terraces views.</p>	 <p>Site is located at the termination of view corridors. The address and point of the entrance are appropriately sited inside the view.</p>	 <p>Entrances and entries front on the common space, clearly defining and creating an attractive outdoor room.</p>
 <p>Homes that define the street edge and are located adjacent to a common space.</p>	 <p>Homes that define the street edge and are located adjacent to a common space.</p>	 <p>Entrances and entries front on the common space, clearly defining and creating an attractive outdoor room.</p>
 <p>Homes that define the street edge and are located adjacent to a common space.</p>	 <p>Homes that define the street edge and are located adjacent to a common space.</p>	 <p>Entrances and entries front on the common space, clearly defining and creating an attractive outdoor room.</p>

LOT TYPES

25' REAR LOADED Single-Family Attached

Typical Lot Dimensions	
Lot Width	35' min. A
Corner Lot	25' min. B
Interior Lot	110' min. C
Lot Depth	3 min., 6 max. D
Passage Width, if provided	10' min. E
Setbacks / Build-to-Lines (BTL)	
Front Yard	10' Setback F
Side Yard	10' Setback G
Along Side Street / Common Space	0' Setback H
Along Interior Lot Line	5' BTL I
Rear Yard	5' BTL J
Corner Lot	5' BTL; or K
Interior Lot	18' Setback L
Typical Building Envelope Dimensions	
Building Envelope Width	25' M
Building Envelope Depth	95' N

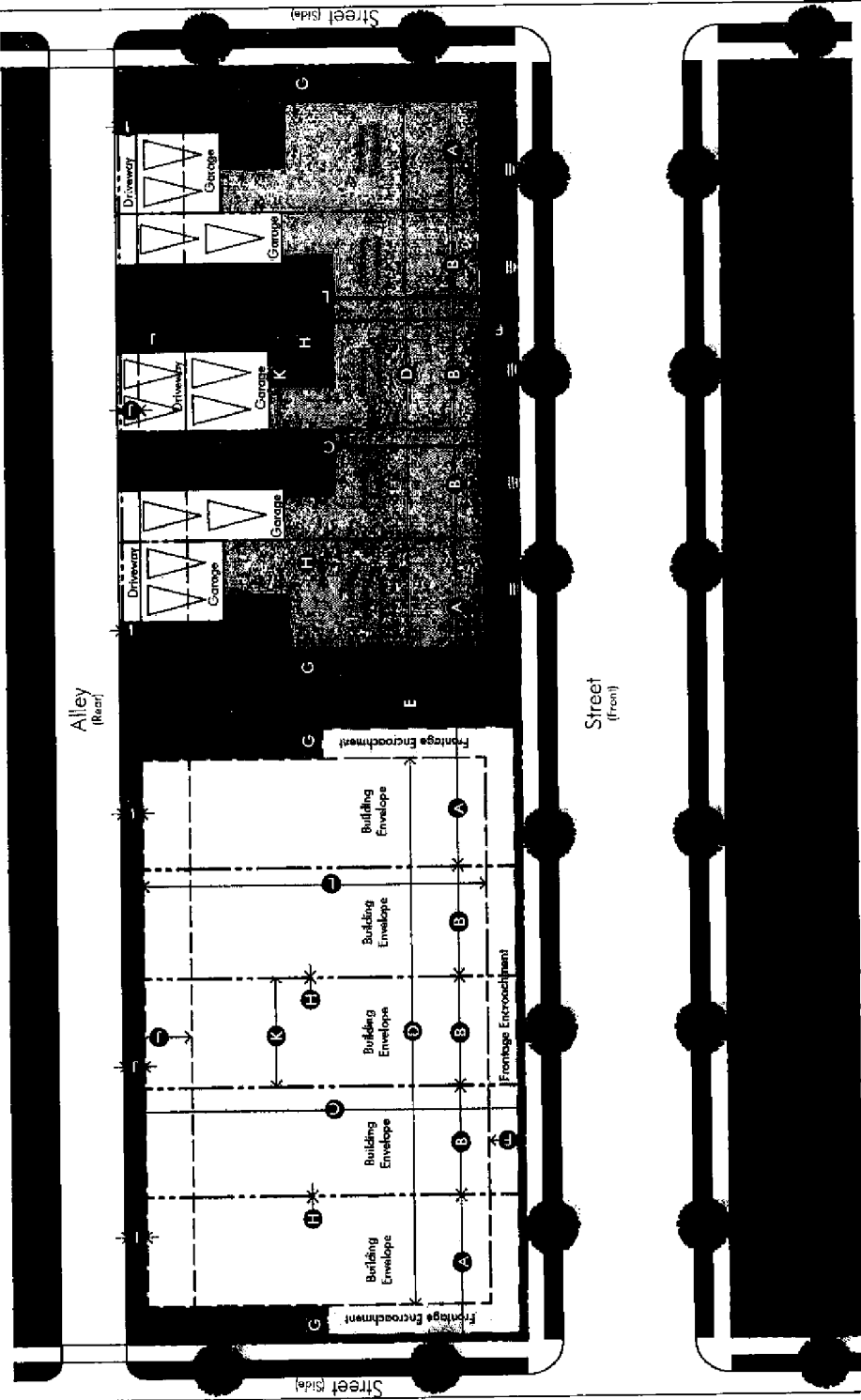


Note: Building Footprints are Illustrative

LOT TYPES

30' REAR LOADED Single-Family Attached

Typical Lot Dimensions	
Lot Width	A 40' min.
Corner Lot	B 30' min.
Interior Lot	C 110' min.
Lot Depth	D 3 min.; 6 max.
Passage Width, if provided	E 10' min.
Setbacks / Build-to-Lines (BTL)	
Front Yard	F 10' Setback
Side Yard	G 10' Setback
Along Side Street / Common Space	H 0' Setback
Along Interior Lot Line	I 5' BTL; or 18' Setback
Rear Yard	J 5' BTL
Corner Lot	K 30'
Interior Lot	L 95'
Typical Building Envelope Dimensions	
Building Envelope Width	M 30'
Building Envelope Depth	N 95'

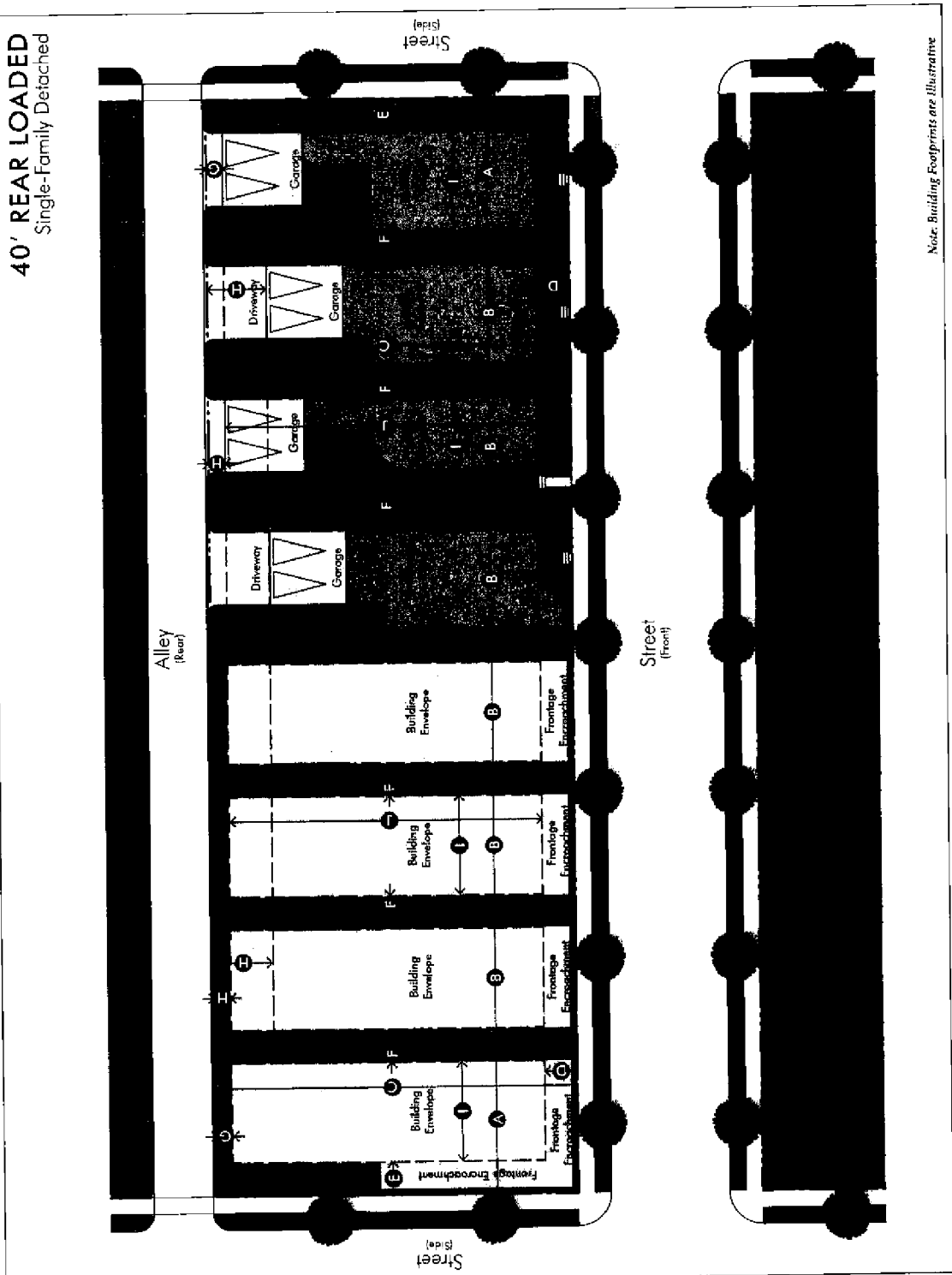


Note: Building Footprints are Illustrative

LOT TYPES

40' REAR LOADED Single-Family Detached

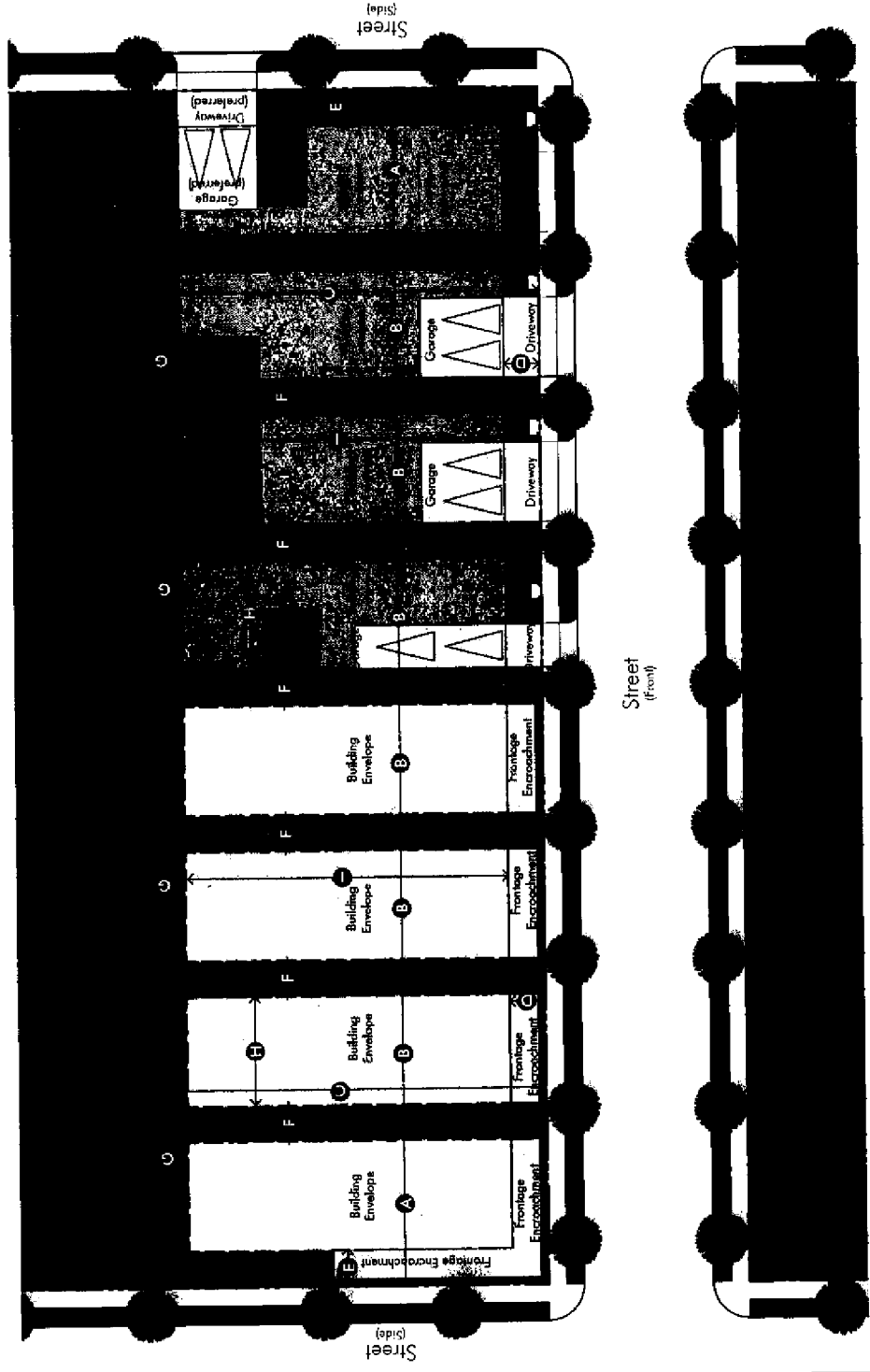
Typical Lot Dimensions	
Lot Width	45' min. A
Corner Lot	40' min. B
Interior Lot	110' min. C
Lot Depth	10' Setback D
Setbacks / Build-to-Lines (BTL)	
Front Yard	10' Setback E
Side Yard	5' Setback F
Along Side Street / Common Space	5' BTL G
Along Interior Lot Line	5' BTL or 18' Setback H
Rear Yard	30' I
Corner Lot	95' J
Interior Lot	
Typical Building Envelope Dimensions	
Building Envelope Width	
Building Envelope Depth	



LOT TYPES

40' FRONT LOADED Single-Family Detached

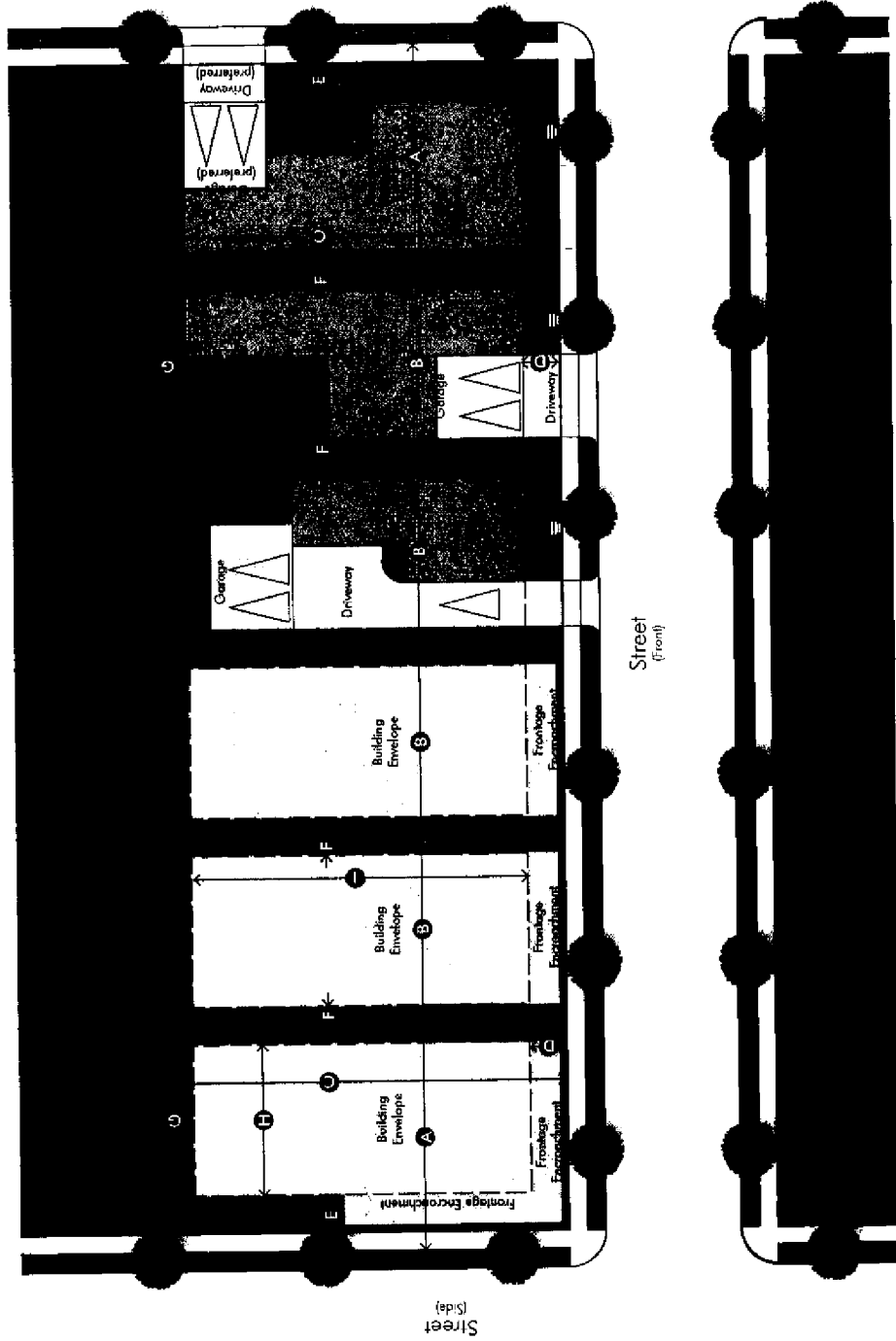
Typical Lot Dimensions	
Lot Width	45' min. A
Corner Lot	40' min. B
Interior Lot	110' min. C
Setbacks / Build-to-Lines (BTL)	
Front Yard	10' Setback D
Side Yard	10' Setback E
Along Side Street/ Common Space	5' Setback F
Along Interior Lot Line	10' Setback G
Rear Yard	30' H
Typical Building Envelope Dimensions	
Building Envelope Width	95' I
Building Envelope Depth	



Note: Building footprints are illustrative

LOT TYPES

50' FRONT LOADED Single-Family Detached



Typical Lot Dimensions	
Lot Width	A 55' min.
Corner Lot	B 50' min.
Interior Lot	C 110' min.
Setbacks / Build-to-Lines (BTL)	
Front Yard	D 10' Setback
Side Yard	E 10' Setback
Along Side Street/ Common Space	F 5' Setback
Along Interior Lot Line	G 10' Setback
Rear Yard	H 40'
Typical Building Envelope Dimensions	
Building Envelope Width	I 95'
Building Envelope Depth	J

FRONTAGE ELEMENTS

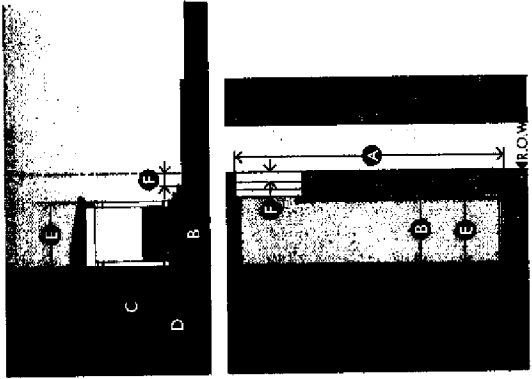
PROJECTING PORCH

Description

The facade is setback from the R.O.W. with an attached porch that is open on three sides. A projecting porch may encroach into the Front Yard. All habitable space is located behind the Setback Line.

Recommended Dimensions

Width	12' min. A
Depth	7' min. B
Along Front	5' min.
Along Side (wrap-around)	8' min. C
Height, clear	18" min. D
Finish level above sidewalk (suggested)	
Encroachments	
A projecting porch may encroach up to 8' into the setback.	E
Steps from the porch may encroach up to but not beyond the R.O.W.	F



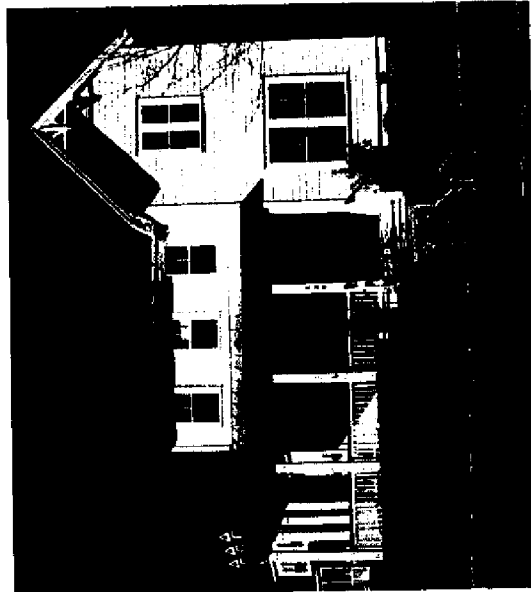
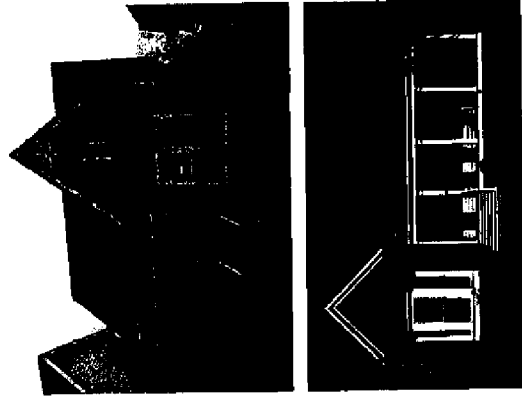
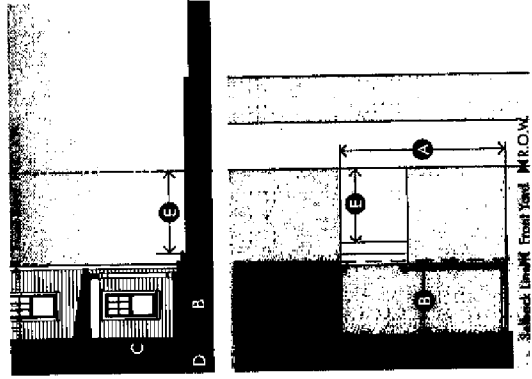
ENGAGED PORCH

Description

The facade is setback from the R.O.W. with an attached porch that is open on two adjacent sides with the two remaining sides engaged to the building. All habitable space is located behind the Setback Line.

Recommended Dimensions

Width	12' min. A
Depth	7' min. B
Height, clear	8' min. C
Finish level above sidewalk (suggested)	18" min. D
Encroachments	
Steps from the porch may encroach up to but not beyond the R.O.W.	E



FRONTAGE ELEMENTS

SIDE PORCH

Description

The facade is setback from the R.O.W. with an attached porch along one side of the building that is open on at least two adjacent sides. All habitable space is located behind the Setback Line.

Recommended Dimensions

- Width **A** 7' min.
- Depth **B** 12' min.
- Height, clear **C** 8' min.
- Finish level: above sidewalk (suggested) **D** 18" min.

Encroachments

Steps may encroach up to but not beyond the R.O.W.



STOOP

Description

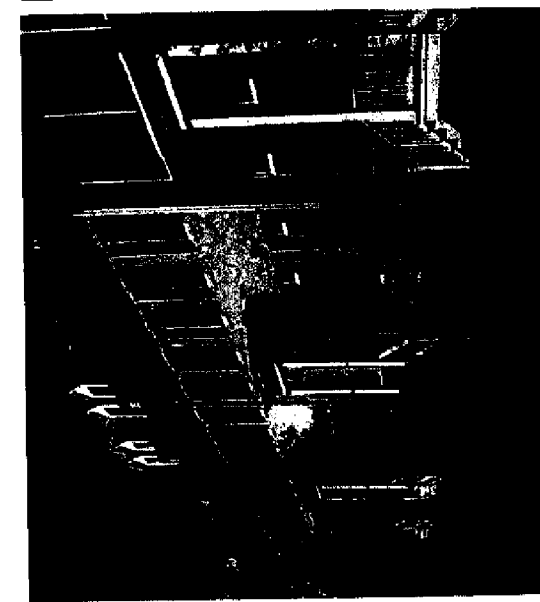
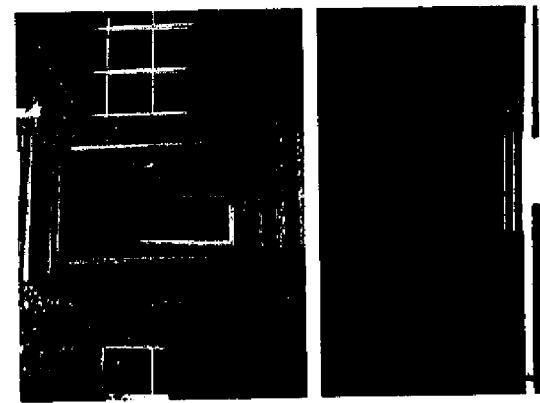
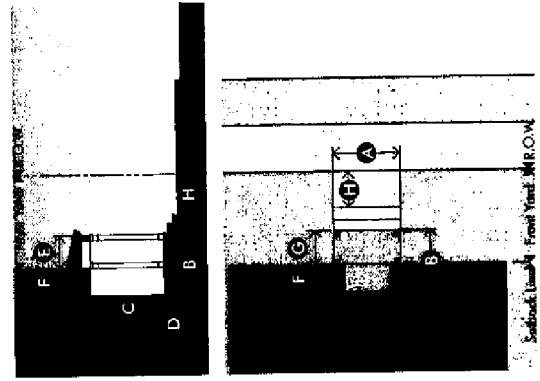
The facade is setback from the R.O.W. with a recessed entry and/or projecting stoop. A projecting stoop may encroach into the Front Yard. All habitable space is located behind the Setback Line.

Recommended Dimensions

- Width **A** 4' min.; 12' max.
- Landing depth **B** 4' min.
- Height, clear **C** 8' min.
- Finish level above sidewalk (suggested) **D** 18" min.
- Covered entry projection **E** 5' max.
- Depth of recessed entries **F** 6' max.
- Height **H** 1 story max.

Encroachments

Covered entries may encroach up to 5' into the setback. Steps may encroach up to but not beyond the R.O.W.



GARAGE DESIGN

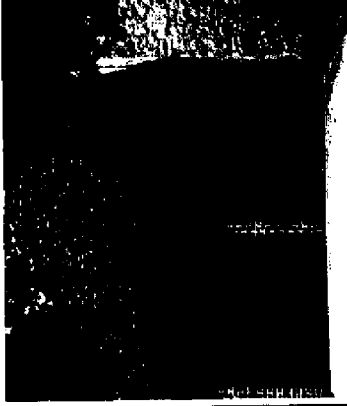
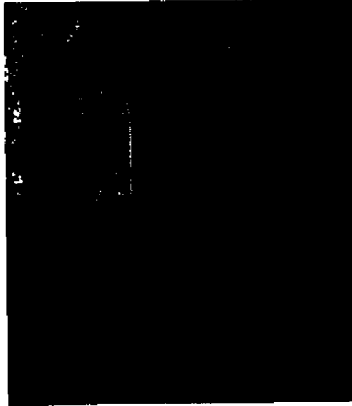
GARAGE MASSING

- The location, massing and scale of a garage shall not compete with or overwhelm the primary body or architectural form of the house.
- Garage forms, design, materials and detailing shall be similar in detail and quality to the main body of the house.
- A garage which is visible from the street or common open space shall receive careful design attention and shall complement the primary facade, yet be seen as a secondary element.
- Special attention shall be given to the design of alley access garages so that any slope variance from the alley to the finished floor level of the garage is not excessive. Including, in some instances, drop garage floors with steps to the level of interior space.
- The garage doors on all front entry garages shall not be forward of the front facade of the house.
- The garage doors on all front entry garages on lots 50' or wider should be set back at least two feet behind the front facade of the house.

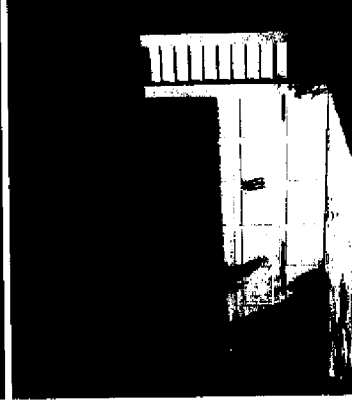
GARAGE DOOR DESIGN

- Garage door designs shall be selected to complement the architectural style and character of the home and use style appropriate decorative hardware.
- Appropriately styled and detailed "carriage style" doors are encouraged.
- Where possible, single car garage doors are encouraged.
- Garage door wall shall be framed with 2x8's to provide the garage door with a recessed appearance.
- Doors with "snap in false decorative arches, etc." are not appropriate.
- Window muntins, if used, shall be true or simulated divided lites appropriate to the architectural style.

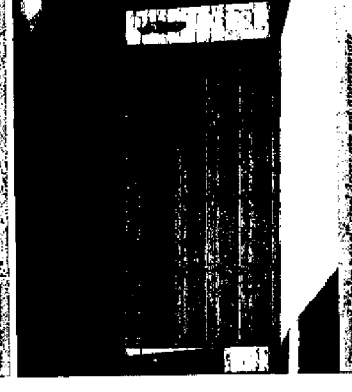
YES



APPROPRIATE



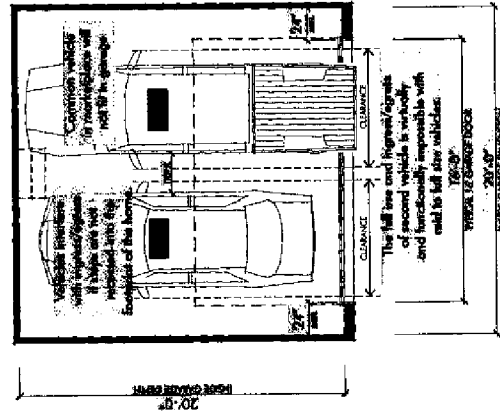
INAPPROPRIATE



GARAGE DESIGN

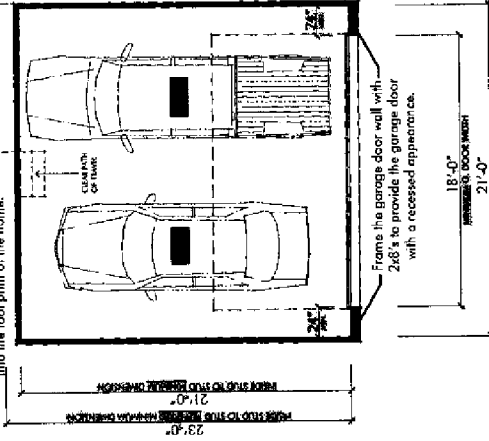
Common Undersized 20' x 20' Garage with Single 16' Wide Garage Door

This type and size of garage / garage door actually becomes a shallow one-vehicle garage, or is only valid for two small front street vehicles. This inadequate level of garage creates issues for valid vehicle parking in the community and reduces values for all.



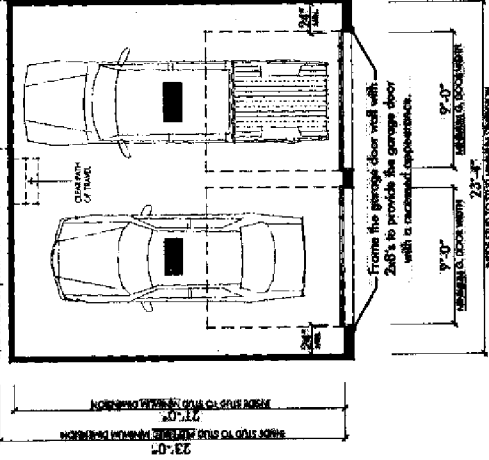
Recommended Minimum One Double Door

If required, stairs should be located so that vehicles do not interfere with ingress/egress from the home. When possible, stairs should be recessed into the foot print of the home.



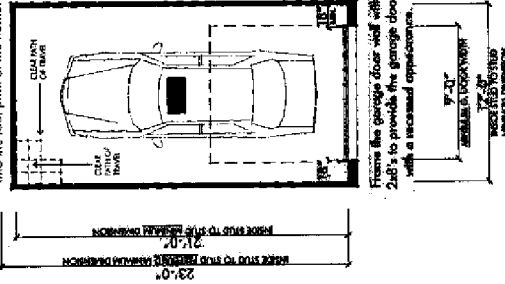
Recommended Minimum Two Single Doors

If required, stairs should be located so that vehicles do not interfere with ingress/egress from the home. When possible, stairs should be recessed into the foot print of the home.



Recommended Minimum Single Car Garage

If required, stairs should be located so that vehicles do not interfere with ingress/egress from the home. When possible, stairs should be recessed into the foot print of the home.



Non-adequate garage effectively becomes a single car garage.



While some on-street parking is desirable, inability to park two vehicles in the garage can lead to excessive on-street parking.

RECOMMENDED MINIMUM DIMENSIONS

Interior Clear Space	21' min.
Clear Width	21' min.
Clear Depth	9' min. ; 10' recommended
Garage Doors	7' min. ; 8' recommended
Height	9' min. ; 10' recommended
Width	18' min. ; 21' recommended
Single Door	9' min. ; 10' recommended
Double Door	18' min.


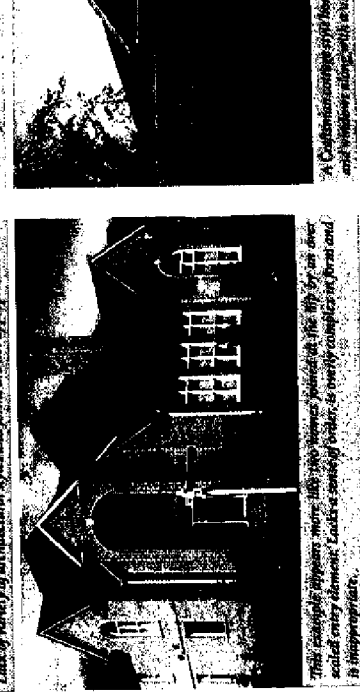

Where a 3-vehicle garage is necessary, separate single bay garage doors are preferred, but 1 double door and 1 single door is acceptable. If front loaded, one door shall be perpendicular from the others.

ARCHITECTURAL GUIDELINES

ARCHITECTURAL CHARACTER
MATERIALS & COLORS
ARCHITECTURAL DETAILS

ARCHITECTURAL CHARACTER

- VARIETY**
- A variety of individual architectural designs with their respective appropriate details, materials and colors are encouraged to create a unique overall compelling streetscape character at the community scale.
- SCALE, MASSING & FORM**
- House designs shall generally be composed of a primary massing with secondary massings or wings that maintain a similar character.
 - The primary massing shall generally be the central dominant mass of the structure with the highest roof line.
 - Overly complex or contrived forms, offsets, projections and the resulting multiple roof lines/forms shall not be used.
 - The scale and proportion of the overall house, entries, and fenestration shall be appropriate to the architectural style.
 - The roof pitch, roof form and architectural embellishments such as cross-gables, dormers, belvedere, chimneys, cupolas and other similar elements shall be appropriate to the architectural style of the house.
 - All trim boards such as eaves, bays, drips, frieze, soffits, fascias, cornices and similar architectural trim elements shall be sized and detailed appropriate to the architectural style.
 - Details and ornamentation shall be appropriate to a human-scaled architectural character.

NO	INAPPROPRIATE	APPROPRIATE	YES
 <p>The steep gable roof is not typical of the area's architectural style.</p>	 <p>The complex roofline with multiple gables and a prominent chimney is not typical of the area's architectural style.</p>	 <p>The simple, symmetrical design with a central gable and prominent chimney is typical of the area's architectural style.</p>	 <p>The simple, symmetrical design with a central gable and prominent chimney is typical of the area's architectural style.</p>
 <p>The steep gable roof is not typical of the area's architectural style.</p>	 <p>The simple, symmetrical design with a central gable and prominent chimney is typical of the area's architectural style.</p>	 <p>The simple, symmetrical design with a central gable and prominent chimney is typical of the area's architectural style.</p>	 <p>The simple, symmetrical design with a central gable and prominent chimney is typical of the area's architectural style.</p>

EXTERIOR MATERIALS & COLORS

GENERAL GUIDELINES

- All exterior finish materials shall be appropriate to the style.
- All elevations of the main body of the house shall maintain a consistent palette of materials, finishes, and colors.
- Changes in materials shall occur at inside corners or at horizontal transition lines that relate to window sills or wall plates.
- When multiple materials are used, heavier materials shall always be placed below the lighter.

BUILDING FACADES

- High-quality exterior finish materials, such as brick or painted brick, stone, hard coat stucco, man-made stone, and cementitious or composite siding and trim is encouraged. Other materials may be allowed by the ACC.
- All visible flashing shall be copper, painted galvanized, or painted aluminum and shall be kept to the minimum height required by good practice and counter-flashed by the wall material where feasible.
- Brick shall be standard size and have a limited range within any color blend. The use of "queen" and other non-modular brick sizes is strongly discouraged.
- Overly elaborate brick work and patterns shall be avoided. Brick quoins, ornamental herringbone designs, clinker brick, and excessive brick projections are examples of inappropriate brick work.
- Lap siding shall have an exposure appropriate to the style.
- Cementitious siding material is encouraged for long term maintenance benefits.
- Vinyl or aluminum siding, EIFS, stucco board, or "softcoat stucco" shall not be used.
- Roll out patio covers shall not be used on facades visible from streets or common open spaces.

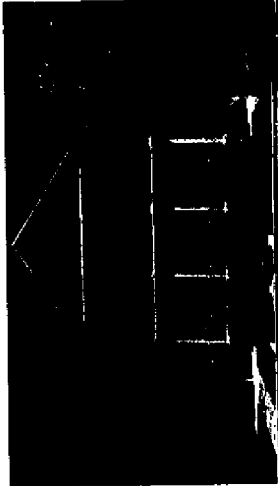
ROOFS & EAVES

- Residential roofs shall be clad as appropriate to the style in composite shingles, standing seam metal, terra, slate, clay tiles, or dimensional asphalt shingles. Synthetic materials similar or superior in appearance and durability may be allowed by the ACC.
- Low-pitched porch and bay roofs are preferred to be standing seam, pre-finished metal or copper.

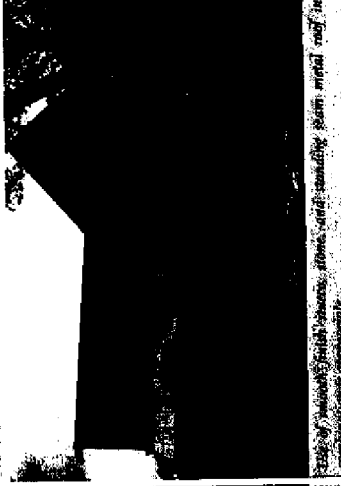
COLORS & TONES

- Building colors shall be appropriate to the style.
- Bright and primary colors are typically not approved by the ACC and shall be avoided.
- Roofs shall be dark earth tone in color, red or green.
- When appropriate to the design, the brick may be painted.
- MEP stacks, vents, and other wall/roof penetrations shall have a matte baked on finish and the color shall match the abutting wall/roof material.

YES



Painted brick is an appropriate way to add color and variety within architectural styles that use brick as the typical cladding material.

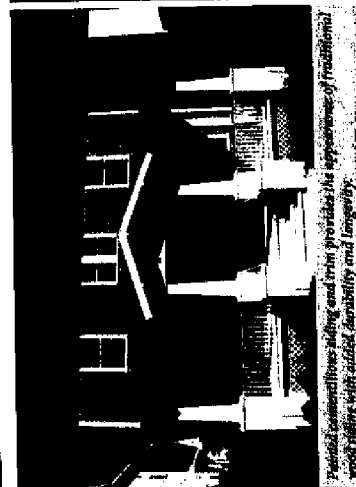


Overly elaborate brickwork, such as quoins, herringbone patterns, and excessive brick projections, are inappropriate for residential applications.



Appropriate masonry, combination of materials, and location of transition lines at window sill. Heavier materials are also located below the lighter.

APPROPRIATE



Transitions between siding and trim provide the appearance of transition work while maintaining durability and longevity.



Appropriate masonry, combination of materials, and location of transition lines at window sill. Heavier materials are also located below the lighter.



Appropriate masonry, combination of materials, and location of transition lines at window sill. Heavier materials are also located below the lighter.

INAPPROPRIATE



Excessive use of decorative materials, such as stone, is not appropriate for residential applications.



Appropriate masonry, combination of materials, and location of transition lines at window sill. Heavier materials are also located below the lighter.



Appropriate masonry, combination of materials, and location of transition lines at window sill. Heavier materials are also located below the lighter.

ARCHITECTURAL DETAILS

ENTRIES & DOORS

Type, Style, & Size

- The primary entrance (front door) to a home shall embody the character, scale, proportion and detail of the overall house and its appropriate architectural style.
- The entry shall be easily identifiable from the street.
- When a porch is not provided, the entry shall provide at least minimal protection from the elements.
- Over scaled, out of proportion, overbearing or deeply recessed ("dark") entries shall not be used.
- Storm, screen, or security doors must be appropriate to the architectural style and approved by the ACC.
- Door types, styles, and sizes shall be compatible with the building's overall design, style, and character.
- Taller doors (8'-0" in height) are generally encouraged. **A**

Materials

- Doors shall be wood or have a wood-like appearance.
- Tinted or reflective glass shall not be used.

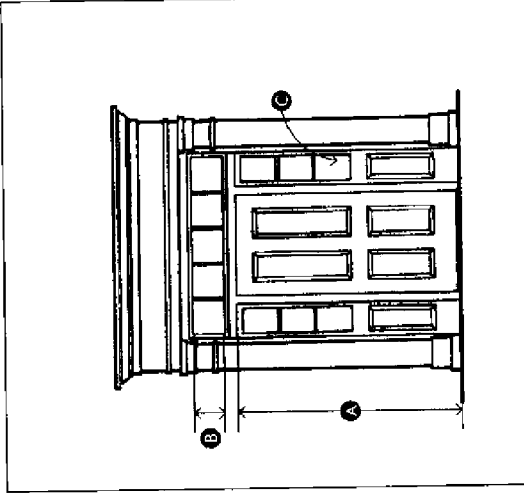
Header, Jamb, & Sill

- Door casings, trim, and moldings shall be appropriately designed and selected to be compatible with the building's overall design, style, and character.
- Openings for doors in brick or stone clad walls shall use a brick mould at the head and jamb.
- Door surround trim on siding clad walls shall project a minimum of 1/4" from the face of the adjacent siding.

Transoms & Sidelights

- If doors shorter than 8'-0" are used, a transom shall be used.
- Transoms shall have a 12" min. glass height. **B**
- Transoms, sidelights, and doors shall read as a unit with continuous casing trim.
- Mullions between doors, transoms, and sidelights shall use trim painted to match the brick mould or trim surround.
- Masonry shall not be used on mullion between doors, transoms, and sidelights.
- Over scaled or separate unit transoms shall not be used.
- Sidelights shall have a design similar to the entrance door. **C**

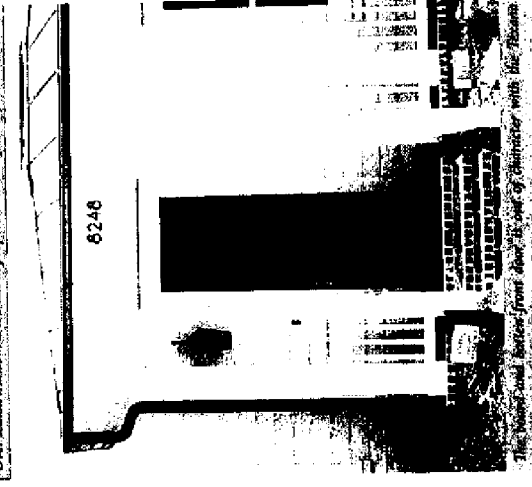
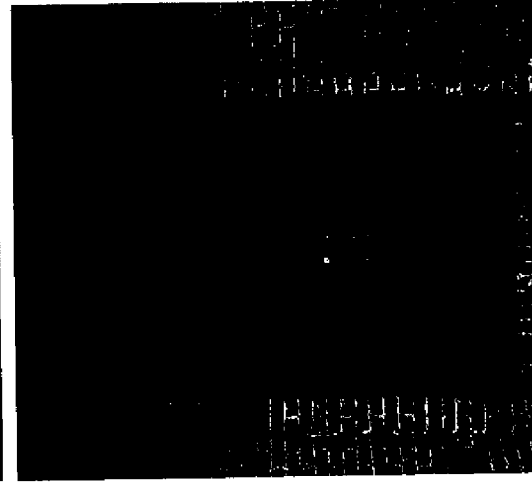
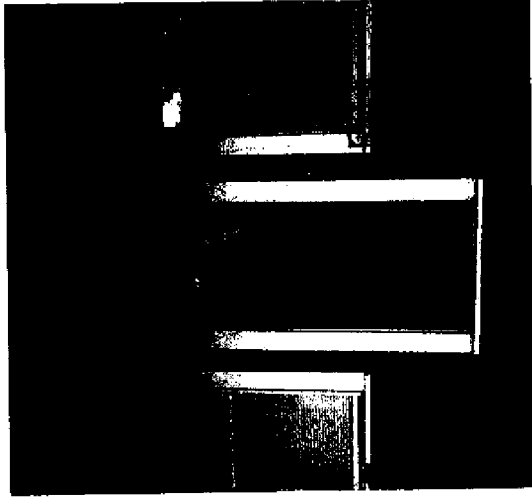
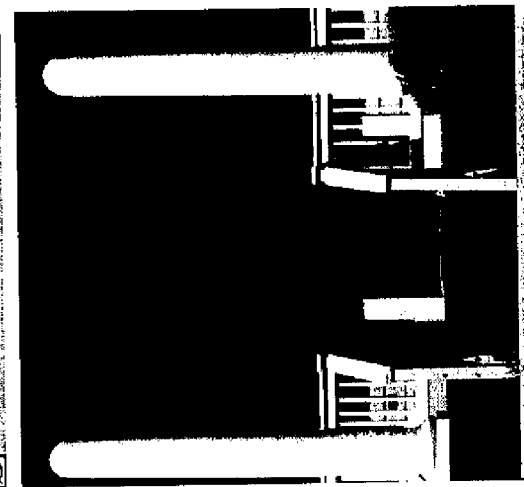
YES



APPROPRIATE ENTRIES & DOORS



INAPPROPRIATE ENTRIES & DOORS

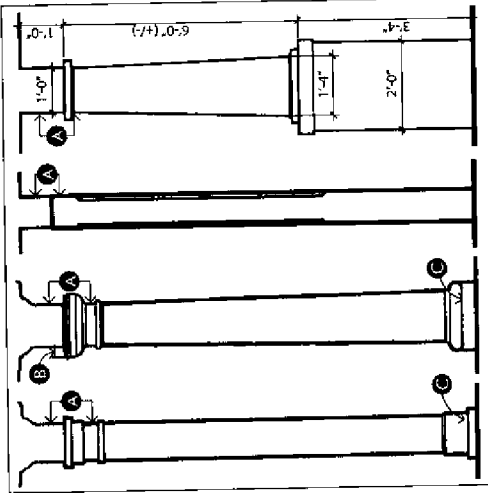


ARCHITECTURAL DETAILS

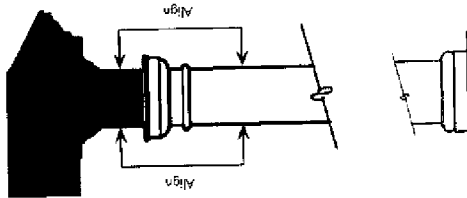
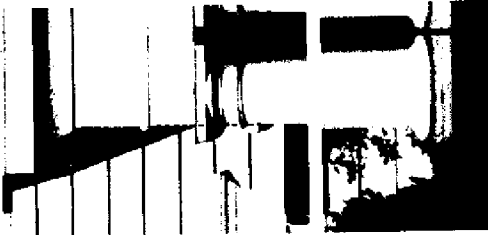
COLUMNS

- Whether job-built or manufactured, columns shall adhere to 'classic' time-tested scale and proportions appropriate for the style of the building.
- Columns shall be of wood, masonry, or a composite material and properly finished.
- The face of the column shaft shall align with the face of the frieze board or beam above. **A**
- The column cap shall project beyond the face of the frieze board or beam. **B**
- The column base is typically larger than the cap and shall be, or 'appear' as, solid stone, brick, or wood. **C**
- Visible aluminum vent blocks are inappropriate and shall not be used.
- The foundation or porch edge shall be extended beyond the edge of the frieze or beam above to allow proper column alignment.

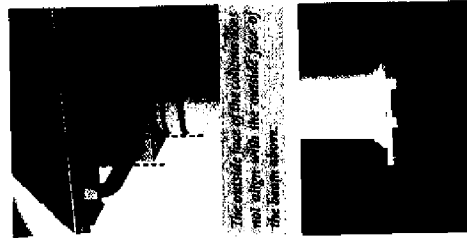
YES



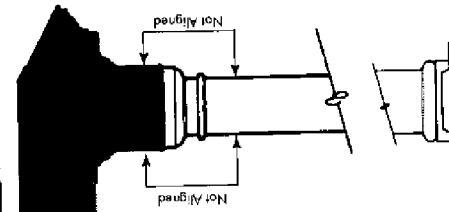
APPROPRIATE COLUMNS



NO



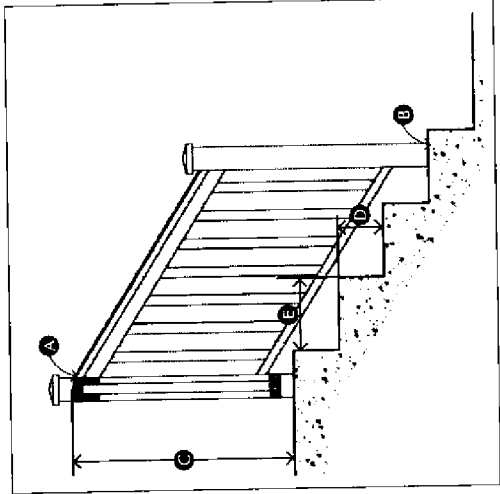
INAPPROPRIATE COLUMNS



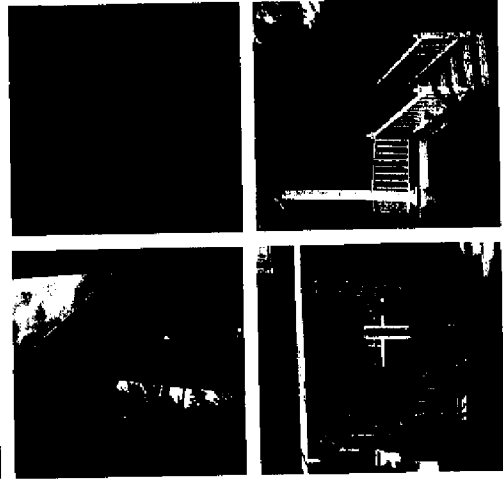
EXTERIOR RAILINGS & STAIRS

- Railings and railing materials shall be appropriate to the style of the house and porch.
- All stair railings shall be terminated on a vertical post or column. **A**
- Newel posts shall sit on the bottom stair tread. **B**
- Railings shall return to the adjacent column or wall.
- Porch railings, stair railings, and rail returns shall all use matching colors and materials.
- Railings shall be between 34" and 38" above the stair nosing or porch floor surface. **C**
- Riser dimensions shall be 4" min. and 7" max. **D**
- Tread dimensions shall be 11" min. and 17" max. **E**
- Steps shall be at least 4' in width. If the space between porch columns is less than 6', the porch steps shall be the full width of the bay.

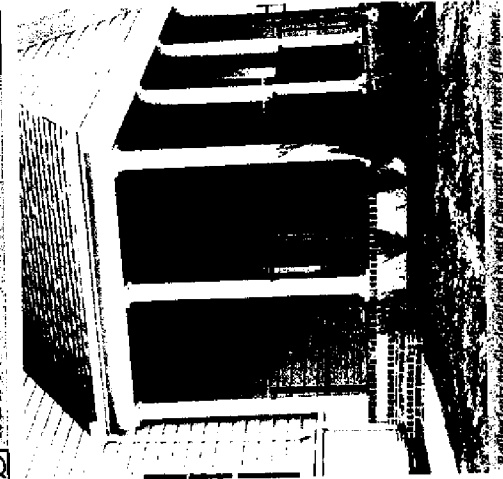
YES



APPROPRIATE RAILINGS



NO



INAPPROPRIATE RAILINGS

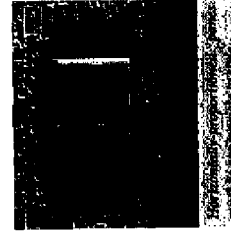
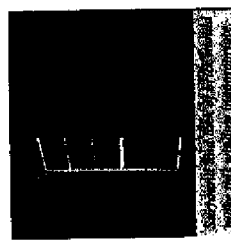
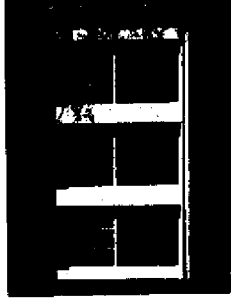
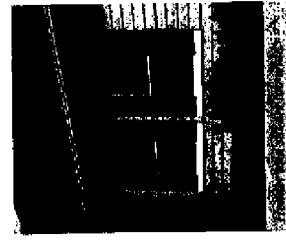
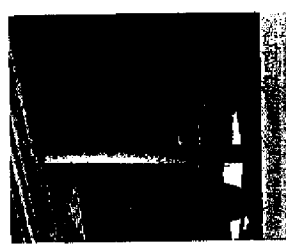
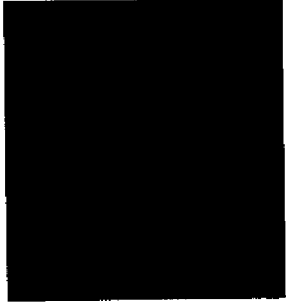
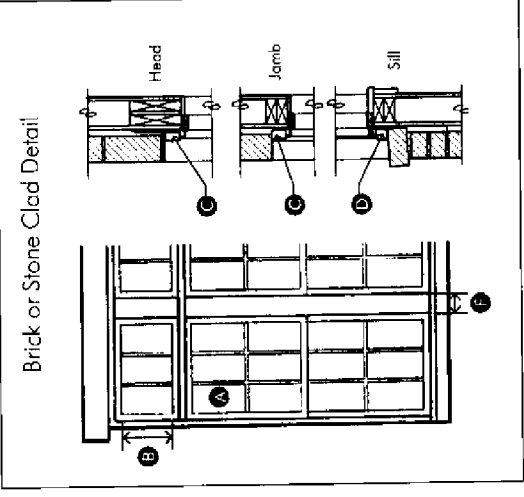
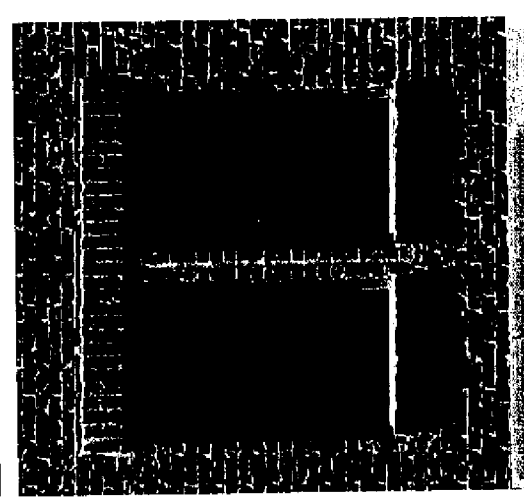
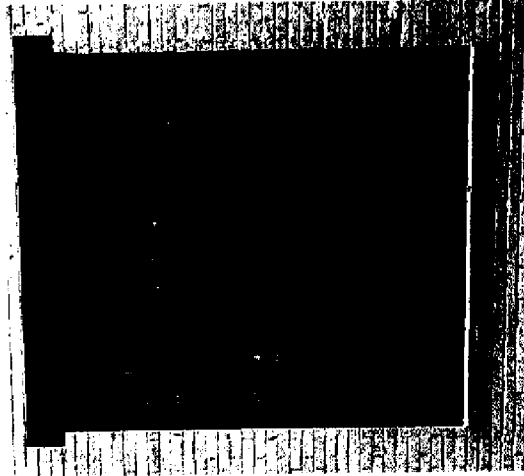
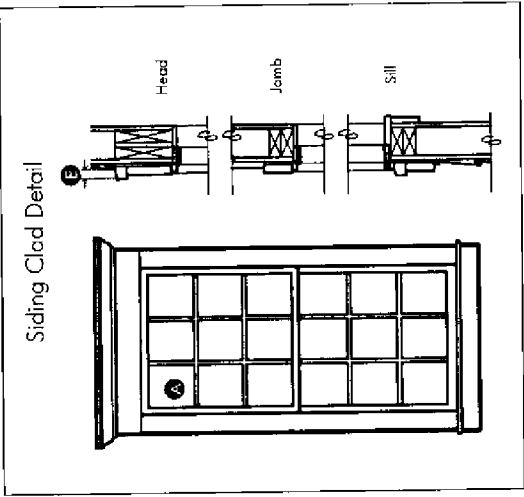
ARCHITECTURAL DETAILS

YES

APPROPRIATE WINDOWS

NO

INAPPROPRIATE WINDOWS



WINDOWS

Type, Style, & Size

- Window types, styles, and sizes shall be appropriately designed and selected to be compatible with the building's overall design, style, and character.
- Window types, styles, and sizes shall generally be consistent along street and common space frontages.
- Windows that operate as sliders shall not be used along street or common space frontages.
- Tab mounted windows flush or nearly flush to the exterior face of the wall shall not be used.
- Window proportions shall be appropriate to the architectural style.
- Window muntins, if used, shall be true or simulated divided lites appropriate to the architectural style.
- Window panes shall be square or vertically proportioned, unless otherwise appropriate to the style.
- The minimum glass height of a transom shall be 12". If above a divided lite window, the transom height shall be similar to the height of a lite below.
- Head heights shall be in proper proportion to the scale and mass of the house.
- First floor windows shall have an 8'-0" (min.) head height and shall align with the front door head height or front door transom head height if a door less than 8'-0" is used.

Materials

- Tinted or reflective glass shall not be used.

Header, Jamb, & Sill

- Window casings, trim, and moldings shall be appropriately designed and selected to be compatible with the building's overall design, style, and character.
- Openings for windows in brick or stone clad walls shall use a brick mould at the head and jamb, but not the sill.
- Openings for windows in brick or stone clad walls shall use a projecting sill mose placed between the brick mould jambs and the sill.
- Window surround trim on siding clad walls shall project a minimum of 1/4" from the face of the adjacent siding.

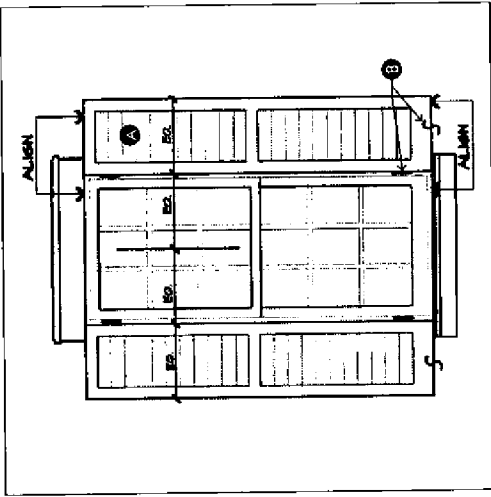
Ganged Windows

- Multiple windows shall have a minimum of 4" mullion between the windows. The casing shall extend the full width.

ARCHITECTURAL DETAILS

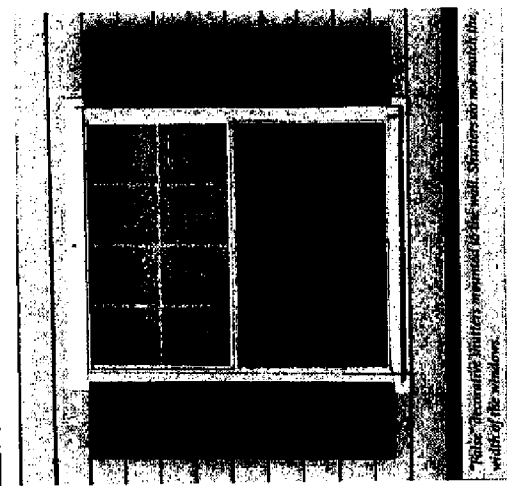
YES

APPROPRIATE SHUTTERS



NO

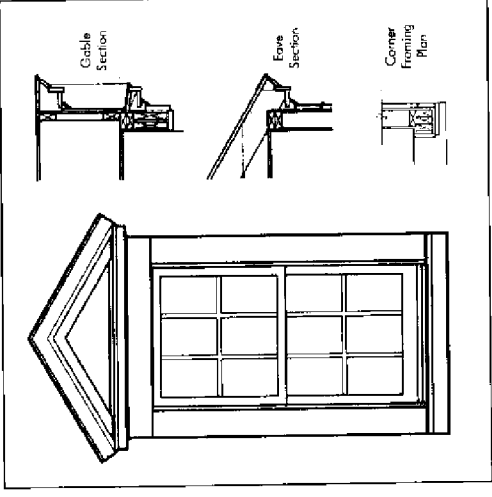
INAPPROPRIATE SHUTTERS



- When shutters are used they shall be appropriate to the architectural design and style of the building.
- Shutters shall be sized to match the actual window sizes. "False" decorative shutters mounted directly to the wall and shutters that do not approximate the height and half the width of the window opening shall not be used. **A**
- Shutters are recommended to be mounted on hinges and with hold backs (shutter dogs) located at bottom rail **B**.
- Shutters for double or grouped windows shall not be used unless they are sized to match the total width of the opening.

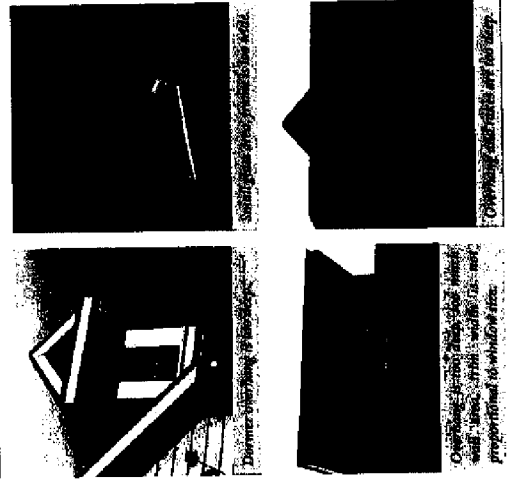
YES

APPROPRIATE DORMERS



NO

INAPPROPRIATE DORMERS

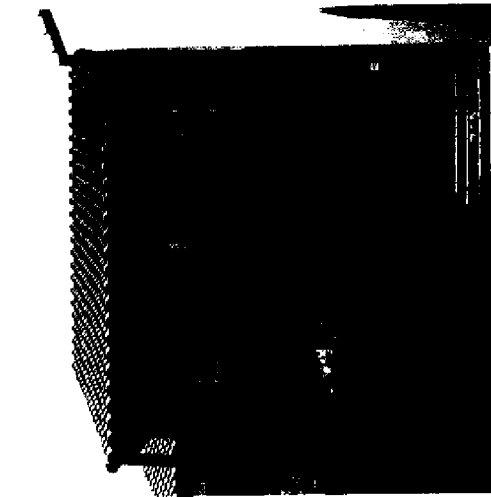


- Dormers shall generally be composed as secondary architectural elements used in a functional or nonfunctional fashion to complement the primary form of the main structure.
- The mass and composition shall be composed in an understandable and straightforward manner and shall maintain the character of the design.
- Typically, dormer roofs shall be hipped, gabled, shed or arched depending on the characteristics of the main structure.
- In general, dormers shall be vertically scaled and proportioned and shall tightly frame the window.
- Dormer window size and type shall be appropriate to the architectural style.
- Dormer overhangs and rakes shall be tight to the main body of the dormer.

ARCHITECTURAL DETAILS

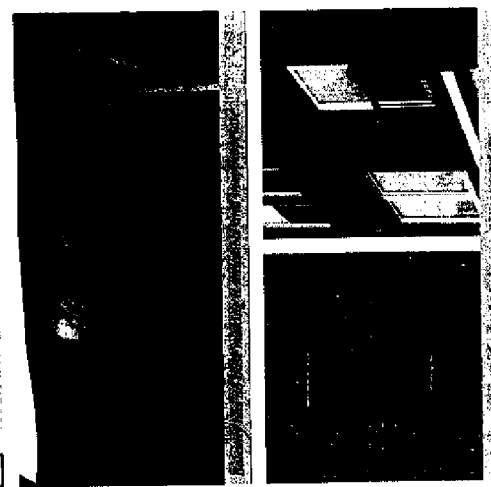
YES

APPROPRIATE BALCONIES



NO

INAPPROPRIATE BALCONIES

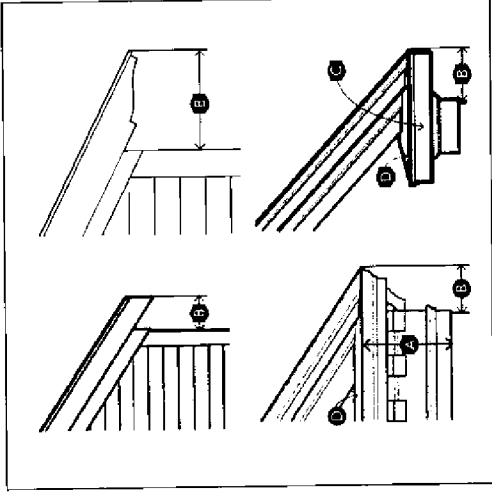


BALCONIES

- Balconies, when used, shall be appropriate to the overall design and style of the building.
- Covered balconies shall have a clear height of 7' min.
- Balcony depth shall be a minimum of 12" from the facade.
- Balconies shall be accessible. Inaccessible balconies located in front of windows shall not be used.
- Balcony depths shall generally be consistent across a building facade.
- Balconies shall have visible brackets or supports consistent with the architectural design and style of the building.
- Balcony railings shall be appropriate to the overall design and style of the building.

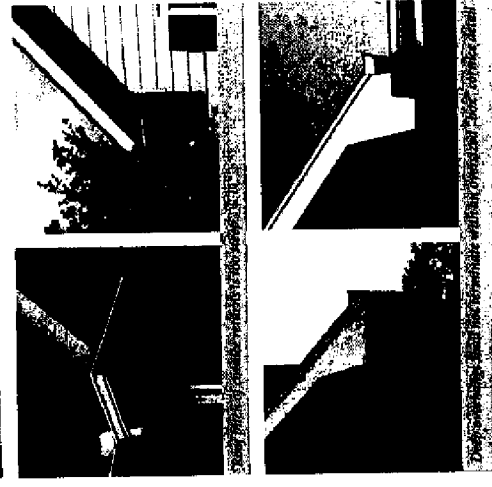
YES

APPROPRIATE CORNICES



NO

INAPPROPRIATE CORNICES



CORNICES, RAKES, & EAVES

- Cornices, rakes, and eaves shall be appropriate to the architectural design and style of the building.
- A cornice shall be proportioned to define the top of the building wall, but not overpower the facade elements beneath. **A**
- Cornices and eaves shall project out horizontally from the vertical wall plane to create depth and shadow on the facade. **B**
- Where appropriate to the style, gable ends shall have cornice returns. **C**
- Roofing or flashing material above cornices or cornice returns shall not be visible at ground level. **D**
- Traditionally scaled and detailed cornices shall follow time-tested scale and proportions. (NOTE: On many historically based traditional designs, the rake detail would incorporate a crown or bed mould trim at the roof edge in lieu of typical 1x2 board.)

ARCHITECTURAL DETAILS

CHIMNEYS

- Chimneys and fireplace flue enclosures, if expressed on exterior with a foundation, shall be constructed to "appear" as "real" masonry chimneys. The width and depth shall be defined and the height shall meet or exceed the minimum per code if there is masonry fireplace/chimney.
- Prefabricated spark arrestors shall be screened with an approved appropriate decorative chimney cap.
- A direct vent exhaust shall not be placed along the primary facade.
- Metal chimney pots shall be used to cover the typical prefabricated flue terminations.
- Appropriate chimney finishes are: brick, stone, hard coat stucco, cementitious panel, or, if extending solely from a roof, stucco board with maximum 1x2 corner trim and appropriately detailed termination.
- Siding shall not be used as an exterior finish on a chimney.
- If stucco board is used, the stucco board and corner boards shall be painted the same color.
- Direct vent exhausts shall be painted to "blend in" and reduce their visibility on the exterior facades.

EXTERIOR LIGHTING

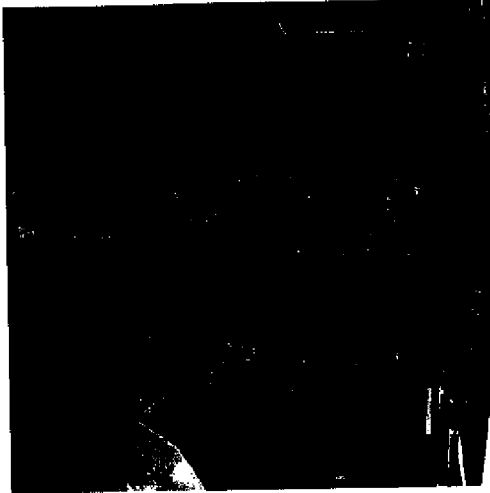
Character & Placement

- Any exposed fixture shall be appropriate in style, material and scale for the home.
- Front or side entrance light fixtures may be ceiling-mounted, ceiling-recessed, or wall-mounted fixtures.
- Fixtures located to the side of front loaded garages and garage doors shall be a wall-mounted down-light type.
- Soffit/cornice down lighting shall not be used.
- Floodlights shall not be used on any elevation facing the street or common space.
- If a ceiling fixture is not provided on a porch, the porch shall be provided for a ceiling fan.

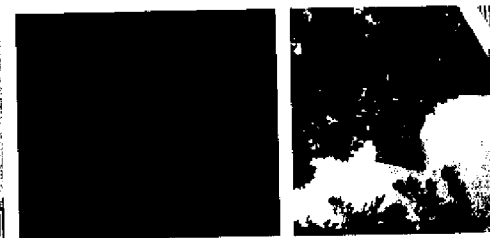
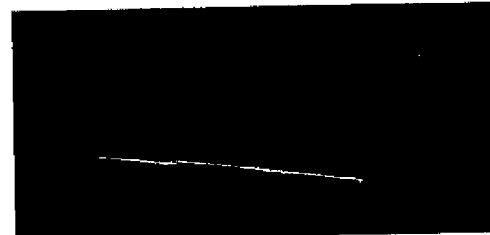
Illumination & Light Levels

- Light fixtures shall be designed to direct light onto the area intended to be illuminated.
- Glare shields and cutoff devices shall be used to minimize throw onto adjacent properties or any public way.
- Light sources shall be shielded or arranged to minimize unnecessary glare for pedestrians and cars.
- Exterior lights shall be on automatic photocells or timers.
- Fixtures with visible lamps shall be a maximum of 75 watt, warm white (or similar) resulting in a "warm inviting" appearance.
- Cool white and daylight color bulbs shall not be used.

YES



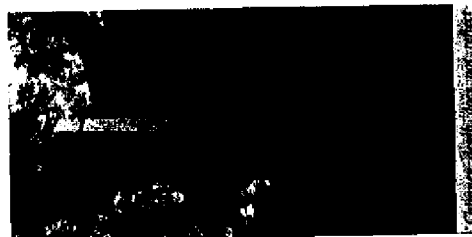
APPROPRIATE CHIMNEYS



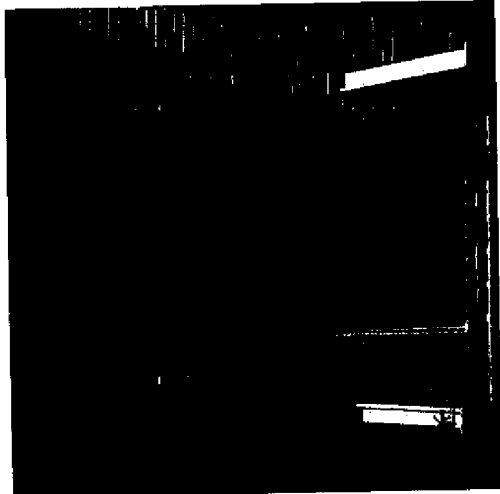
NO



INAPPROPRIATE CHIMNEYS



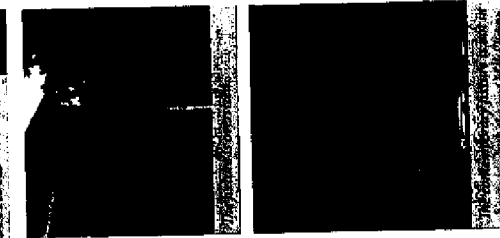
YES



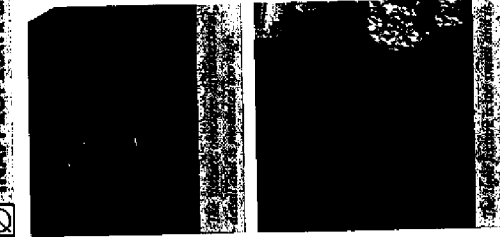
APPROPRIATE LIGHTING



NO



INAPPROPRIATE LIGHTING



ARCHITECTURAL STYLES

INTRODUCTION
TEXANA FARMHOUSE
HILL COUNTRY
CRAFTSMAN
EUROPEAN ROMANTIC
AMERICAN COLONIAL
STYLE APPLICATION EXAMPLES

INTRODUCTION

INTENT OF STYLE GUIDELINES

These Design Guidelines are intended to create a complete integrated community of streetscapes and buildings that are based upon time-tested, regional design principles. While each building shall stand on its own design merit, it is intended that each individual building shall also contribute to the desired overall community character. These Design Guidelines are not intended to reproduce historical buildings, but rather result in streetscapes featuring a variety of distinct but harmonious architectural styles using timeless design principles, modern materials and current building practices.

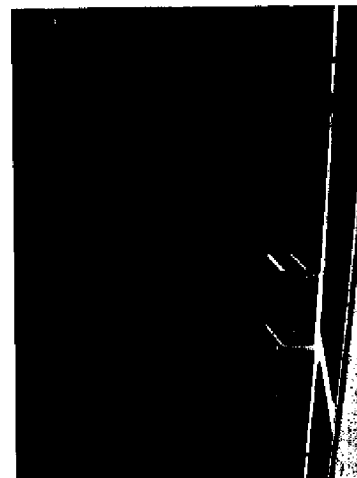
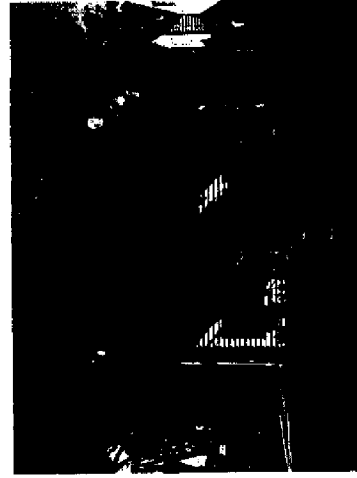
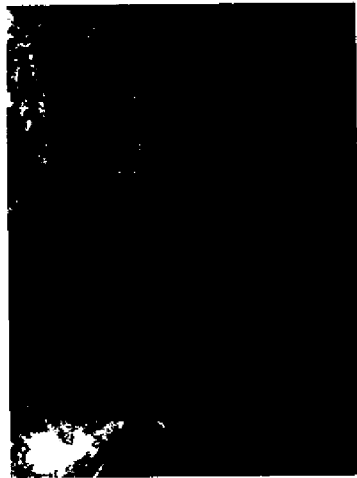
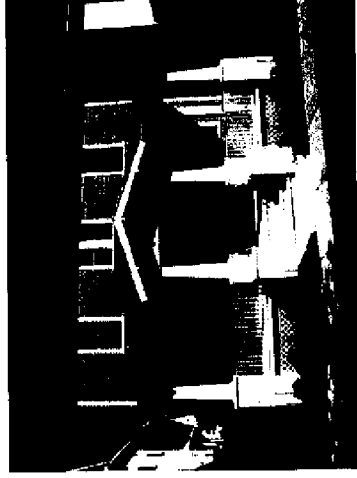
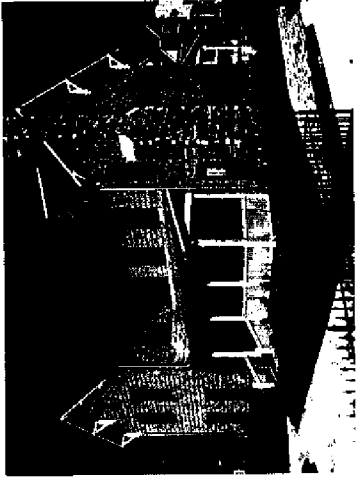
These guidelines and the information contained herein are intended as a general and sometimes specific guide to owners, architects, and builders as to the general style, character, and level of quality required for homes and improvements within the neighborhood of Midtown Reserve. The precedent photos included in these guidelines are intended to exemplify the typical characteristics and detailing of the architectural styles that are to be adapted to the building types, lot sizes, and price points of homes in Midtown Reserve.

The guidelines are not intended to be subjective value judgments of the images and elements indicated, but instead are provided to illustrate the intended design character of the neighborhood. While the images and elements contained herein are not fully comprehensive in scope, they will be used by the Architectural Control Committee (ACC) as a standard for reviewing new homes or improvements. The ACC will have the exclusive authority to define any term or interpret the applicability of any item or component in part or whole contained in these Design Guidelines.

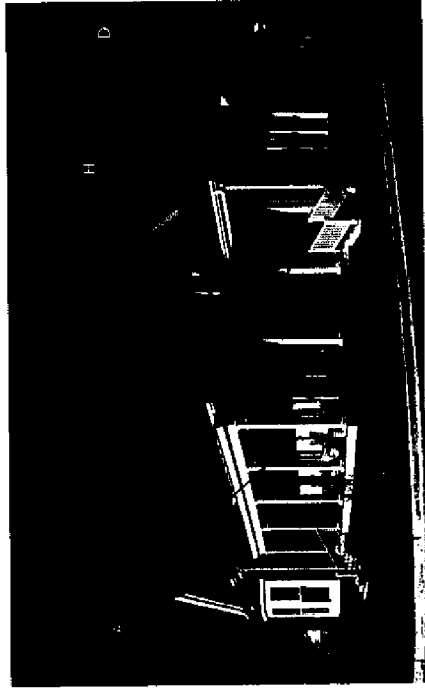
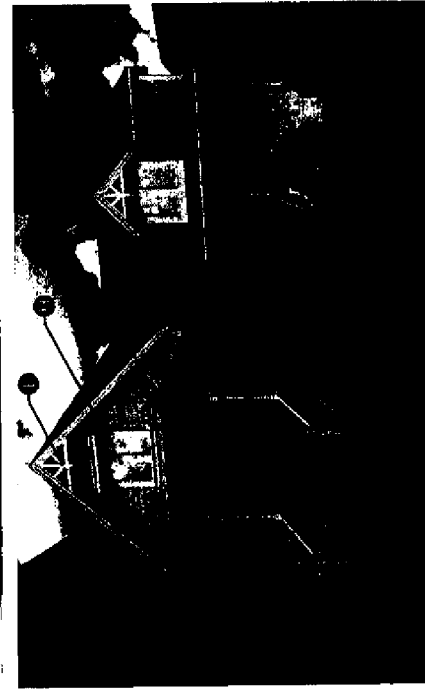
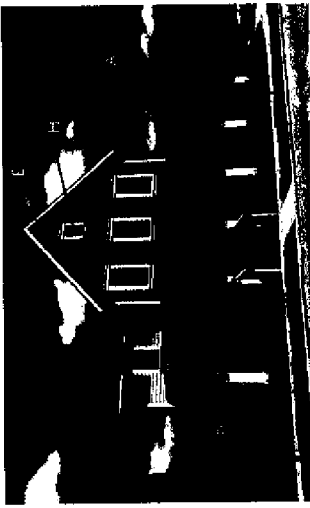
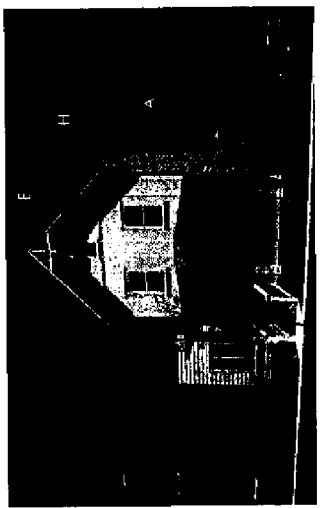
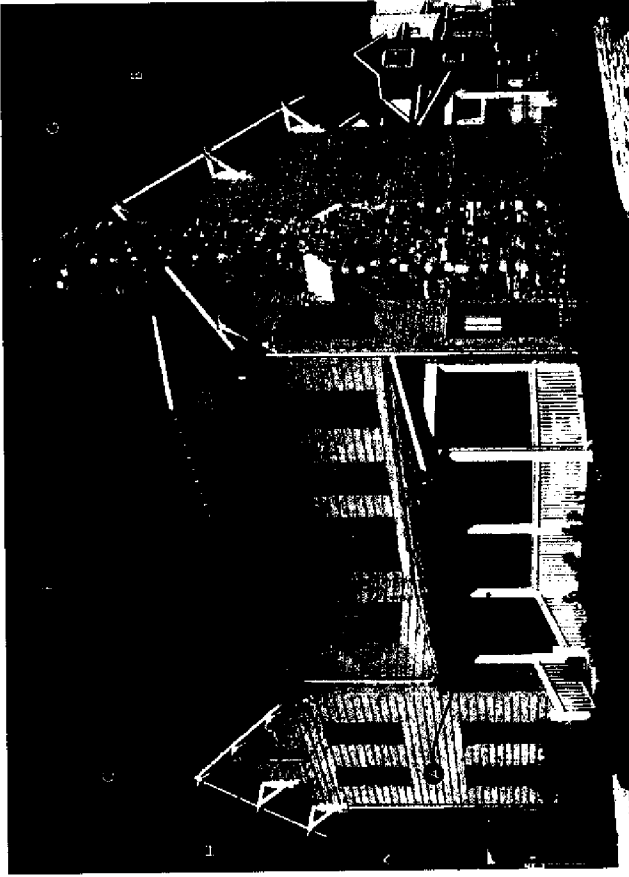
Using the Style Guidelines

The photographs on the following pages provide examples of the key characteristics and details associated with each of the architectural styles. It is intended that these details be applied across a variety of building types (attached, front loaded, and rear loaded) at a variety of price points. The focus of the photographs is to show the correct details and in some cases not all building types have been included for each style.

In addition to the photographs, four sets of style application examples have been provided as part of this chapter. The style application examples illustrate how a typical floor plan can be elevated and detailed using three different architectural styles.



TEXANA FARMHOUSE



The Texana Farmhouse style is derived from eastern Texas and Louisiana vernacular house designs and is similar to the very simple Folk Victorian style of rural America.

Facade Composition

Symmetrical and balanced architectural compositions with simple lines and little ornamentation.

Materials and Color

Exterior cladding is typically smooth finished wood or cementitious or expensive lap siding or board and batten siding. Brick or stone is occasionally used as exterior cladding, but is more commonly found as part of a water table detail. Colors are typically light colors with white trim, whites with white trim and dark accents, or varied earth tones, brick, or stone with light trim. Roof colors are typically red, brown, green, grey, or charcoal.

Porches

Porches are a prominent feature of this style and are typically a simple 1-story porch with small square, chamfered, or turned columns.

Roofs

Roofs are moderately to steeply pitched (8:12). Roof forms are typically gabled, with the main roof form typically being side gabled.

Cornices, Eaves, & Rafters

Simple eaves with eave returns on the gable end. Brackets and rafter tails are occasionally found as ornamentation on the eave.

Doors & Windows

Windows are vertically proportioned equal width single- or double-hung windows with 2 over 2, (over 1, 4 over 6, or 6 over 6 pane configurations. Doors are typically solid with 3 or 4 raised panels, or 1/2 to 3/4 glass with panes of similar size and proportion to the windows.

Shutters

Not typical, but if used are raised panel, louvered, or board and batten.

Dormers

Shed or gable.

A Prominent front porch, B Bracket detail on rafter, C Exposed rafter tails, D Eave returns, E Gable returns, F Gable pediment detail, G Shed dormer, H Stone accents on chimney, I Gable vents or windings

HILL COUNTRY

The Hill Country Style is a regional adaptation of architecture brought to the Central Hills of Texas by European immigrants. The simple and authentic style is rooted in the immigrants' masonry and carpentry backgrounds and the local available stone and heavy timber cedar building materials.

Facade Composition

Simple forms with verticality, rustic textures, and traditional proportions. These elements are combined to create a sense of rustic elegance.

Materials & Color

Typical exterior cladding includes stone, brick, and stucco. Rough hewn or weathered wood or masonry stone is often used for door and window frames and for porch columns.

Colors typically reflect the weathered natural materials with light colored stone and dark wood accents, or light colored earth tones with dark trim.

Roofs are typically made of weathered wood, brown, or grey shingles.

Porches & Stoops

Full or partial porch with a low pitch metal roof and simple wood posts often with rough hewn.

Roofs

Roofs vary greatly in the style with some houses having steep pitches reflecting the more traditional European influence and some with more modern shallow pitches.

The main roof is typically gabled or peaked, with a prominent cross gable.

Cornices, Eaves, & Rafters

Deep eaves and rafters with exposed, often oblique roof beams, rather than, and batten.

Doors & Windows

Windows are often oriented on the first floor and sometimes replaced with French doors when opening onto a porch.

Windows have either a more traditional combination of vertically proportioned panes in a casement or single or double hung window, or more modern configurations of horizontally proportioned panes in a fixed or casement window.

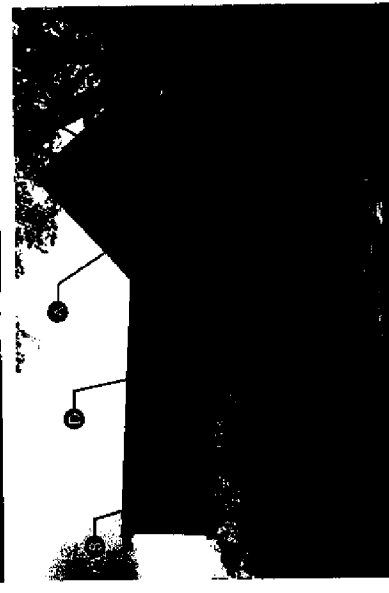
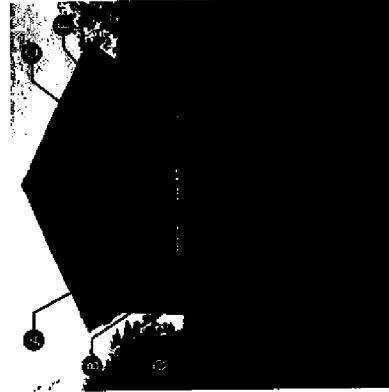
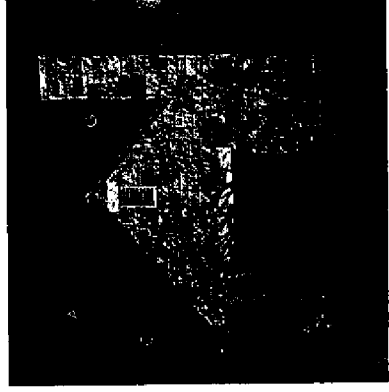
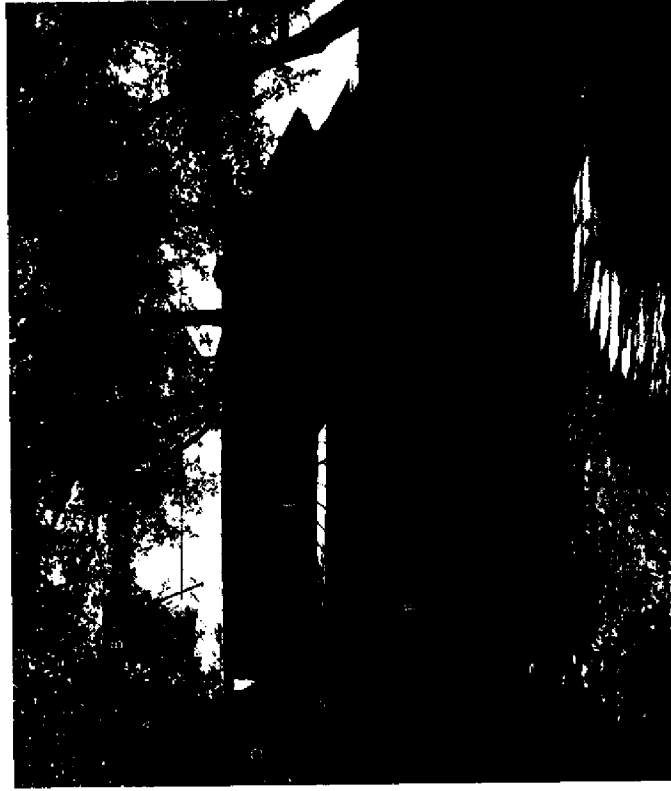
Doors are typically 1/2 to full glass with panes of similar size and proportion to the windows.

Shutters

Not typical, but if used are board and batten.

Dormers

Shed or gabled.



A) Local stone cladding B) Standing seam metal roof C) Gummy timber or masonry stone finish D) Simple square porch post E) Post brackets F) Modern horizontal window panes

CRAFTSMAN

The Craftsman Style is rooted in the Arts and Crafts movement that influenced much of the architecture popular in the early part of the 20th century. The Craftsman style emphasizes an expression of the house's structure in its form and detail. Craftsman homes have been easily adapted to various regions of the country both as modest cottages and as larger homes.

Form & Composition

Symmetrical and balanced architectural compositions.

Materials & Color

Craftsman style houses are clad in a variety of materials based on regional construction practices.

Typical regional cladding includes smooth or rough finished wood or combinations of exposed lap siding or shingles, stucco, stone or brick. Brick or stone is often used as a base for porch columns and as waterable detail.

Colors are typically light colors with white trim, light earth tones with light trim, or dark earth tones with dark trim.

Roof colors are typically red, green, brown, or gray.

Porches & Stoops

Generous full or partial porches with tapered or straight square columns on stone, stucco, or brick bases are a prominent feature of this style.

Roofs

Roofs are shallow to moderately pitched 6:12 to 8:12 with steep overhangs. Roof forms are typically front or side gabled roof. Tipped roof forms are found in this style, but are less common.

Cornices, Eaves, & Rafters

Deep over-eave rafters with exposed, often elaborate roof beams, rafters, eave, and brackets.

Doors & Windows

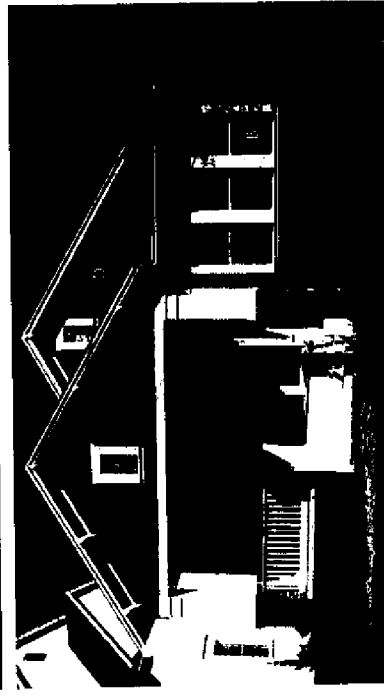
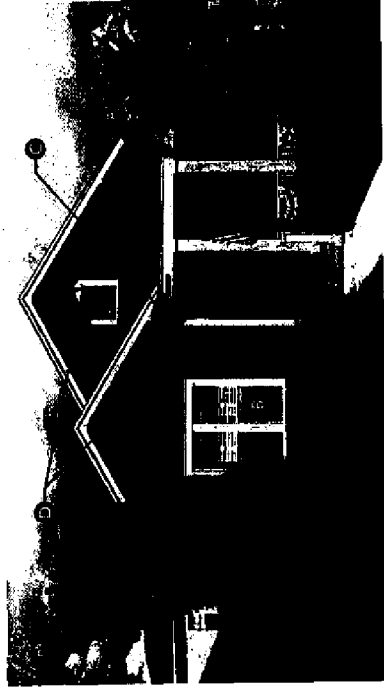
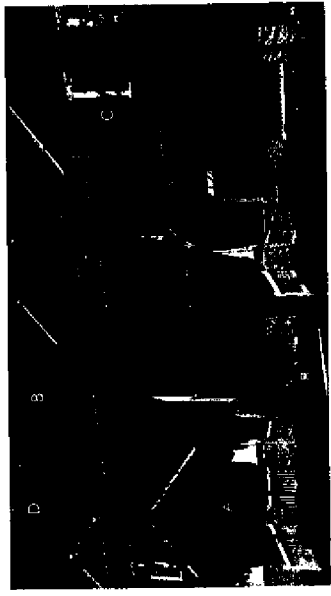
Windows are often gabled (horizontally and oriented on the first floor). Windows are vertically proportional equal with single- or double-hung windows with multiple panes on the upper sash over a single pane lower sash. Small square-paned windows are sometimes found in gables.

Gables often windows are consistent in this style.

Doors are typically 1/3 to 2/3 glass with panes of similar size and proportion to the windows.

Dormers

Typically shed, occasionally gabled or cupolas.



A Tapered square columns with a brick or stone base; B Gabled windows; C Deep eaves with exposed rafters or rafter tails; D Deep rafter with decorative brackets; E Shed Dormer

EUROPEAN ROMANTIC

The European Romantic style is an amalgamation of Tudor, French Country, and other picturesque European styles. The style developed as a derivative of Medieval Revival architecture and as the style evolved, it began to emulate the English Renaissance styles of the 16th and 17th centuries. The style was popularized in U.S. in the 20th Century by returning troops who served in Europe.

Facade Composition

Facades are typically asymmetrical and composed of a large focal point. There is often a decorative central recessing with a secondary horizontal element.

Materials and Color

Exterior cladding is typically brick, stone, or light-colored stucco, sometimes used in combination. Decorative half-timbering is occasionally used as a focal detail. Heavy trim and wood or stone brackets are common in this style. Horizontal wood or ornate cast-iron hip rafting is less common in this style.

Colors are typically brick in dark, gray colors; white painted brick, or varied earth tones with varied dark trim. Roof colors are typically green, brown, or gray.

Stoops

Entries are typically recessed with a small stoop. Full or partial width porches are less common in this style.

Roofs

Roofs are steeply pitched (≥72:12). The roof form typically consists of side-gable roofs and form with cross gables & dormers. Gables vary from common to this style include, nested, asymmetrical eaves (not alike), sweeping eaves, and clipped.

Cornices, Eaves, & Rafters

Eaves and rafters are typically light to the facade with a color contrast against with decorative brick corbels in the gable.

Doors & Windows

Entrances are typically composed with multiple window panes, gridded windows, paneled full floor windows, and small accent windows.

Windows are typically vertically proportioned casement windows with small vertically proportioned panes. If single- or double-hung windows are used instead of casements, they shall be vertically proportioned equal depth windows with 4 over 4 or 6 over 6 pane configurations.

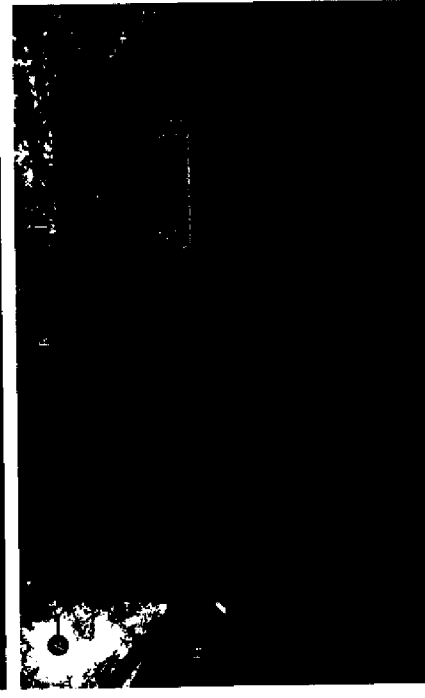
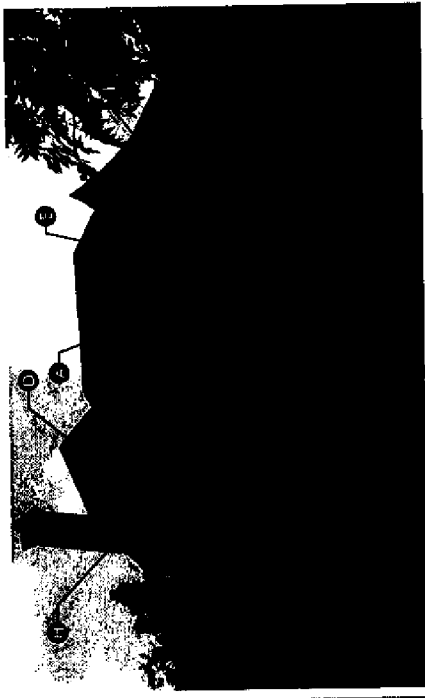
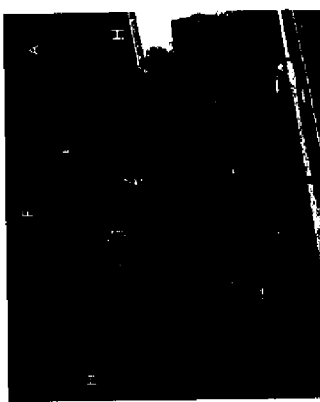
Doors are typically either solid or primarily solid board and batten, plank, or panel often with a small glass pane or transoms. 1/2 to 2/3 glass doors can less common, but when used shall have panes of similar size and proportion to the windows. Arched top doors are common in this style.

Shutters

Typically board and batten, occasionally raised panel.

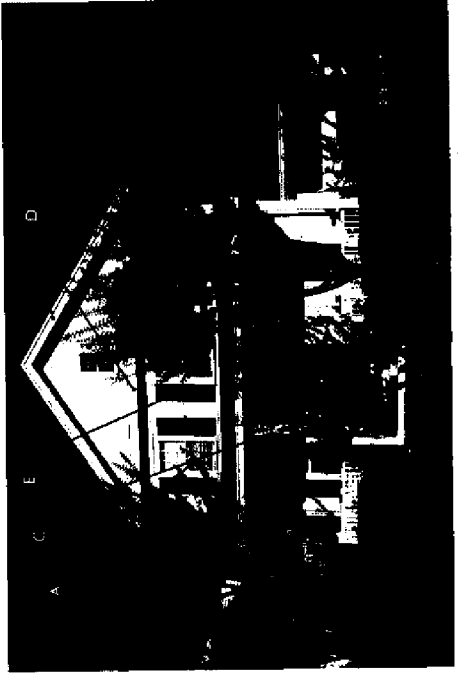
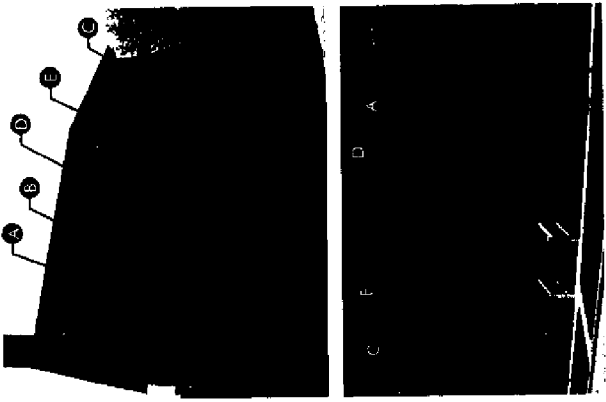
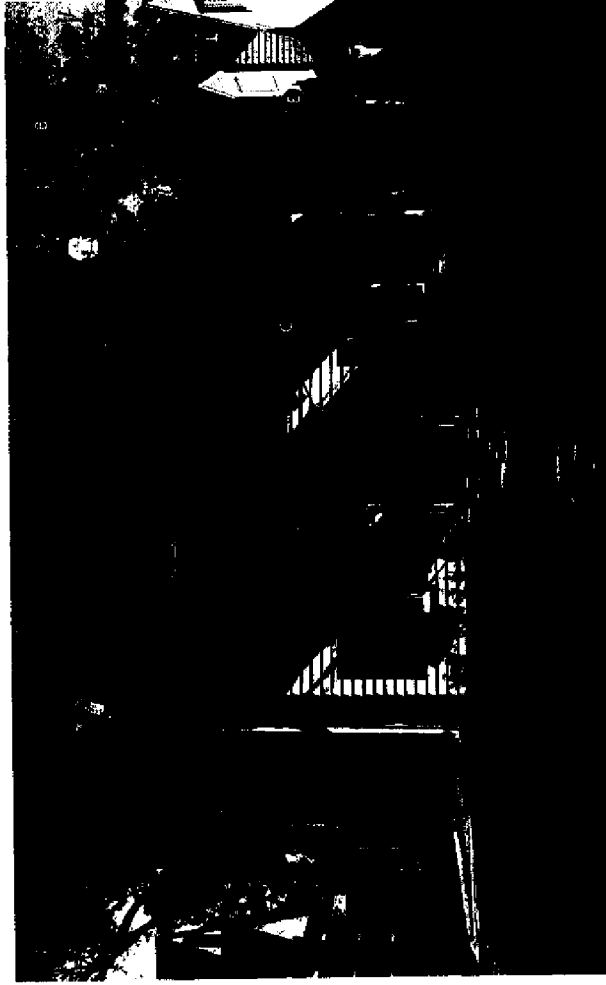
Dormers

Typically shed or hipped, occasionally gabled or eyebrow.



A) Prominent front facing cross gable; B) Asymmetrical eaves; C) Decorative half-timbering; D) Clipped gables; E) Sweeping eaves; F) Shed dormer; G) Decorative half-timbering; H) Brick corbels

AMERICAN COLONIAL



The American Colonial Style is the American adaptation of the Georgian style brought over to the colonies by masons and carpenters in the 1700's. The American Colonial style simplified the ornate classical details and introduced the use of clapboard siding in the addition to the more traditional brick cladding.

Facade Composition

Single rectangular stories with a regular, repetitive composition of windows and doors, often symmetrical.

Ornamentation is typically limited to the entry, stoops, or porch details.

Materials and Color

Exterior cladding is typically smooth finished wood or cementitious of exposure lap siding or brick.

Colors are typically whites with white accents, light colors with white trim, or dark red brick with white trim, dark contrasting shutters.

Roof colors are typically green, grey, charcoal, or black.

Porch and Stoops

Covered entry stoops or simple 1-story porch with small square, chamfered, or turned columns.

Roofs

Roofs are moderately pitched (6:12 to 8:12).

The main roof form is typically side-gabled, but occasionally hipped or with a cross gable.

Cornices, Eaves, & Rafters

Shallow eaves with a simplified classical cornice.

Doors and Windows

Windows are vertically proportioned and each single- or double-hung window with 6 over 6 or 9 over 9 pane oblong pattern.

Doors are typically either solid with 4 or 6 raised panels or 1/2 to 3/4 glass with panels of similar size and proportion to the window.

Elaborate door surrounds and door assemblies with transoms and sidelights are common in this style.

Gable attic windows on front-facing gables are common in this style.

Shutters

Shutters are very common, except on casual windows and are typically raised panel or louvered.

Dormers

Typically gabled, occasionally hipped.

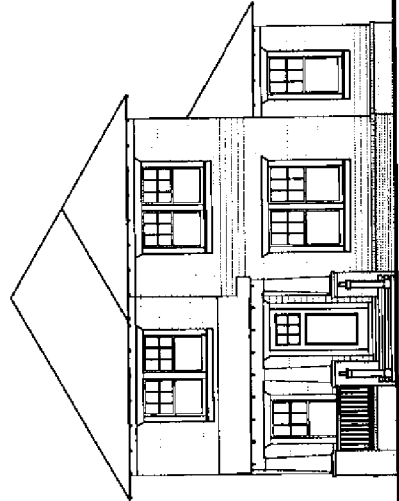
A Regular, repetitive composition of windows; B Side gable roof; C Ornamentation at entry stoop or porch; D Shallow eaves and rake with a simplified classical cornice; E Lowered or raised panel shutters; F Gabled Dormer

STYLE APPLICATION EXAMPLES

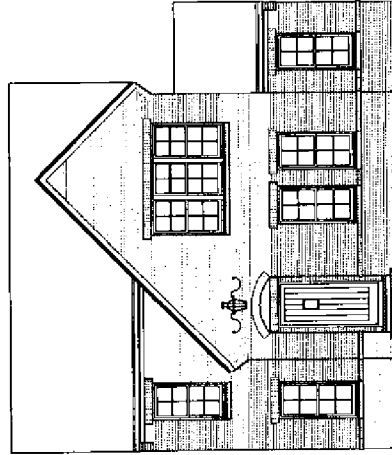
EXAMPLE SET A



Texana Farmhouse



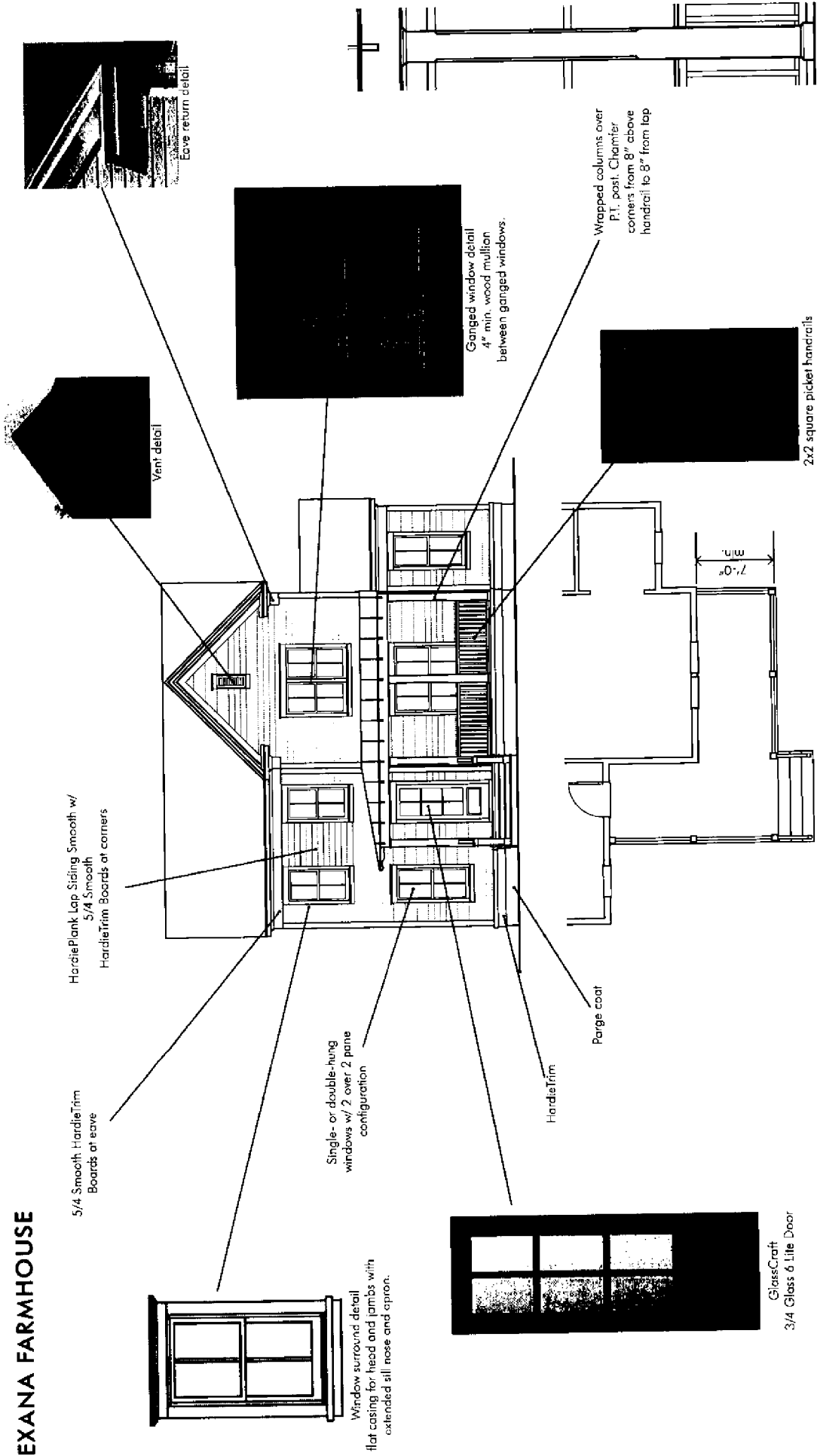
Craftsman



European Romantic

STYLE APPLICATION EXAMPLES

TEXANA FARMHOUSE



STYLE APPLICATION EXAMPLES

CRAFTSMAN



Rafter tail detail at porch and main roof eave

Single- or double-hung windows w/ 6 over 1 pane configuration



Glass-Craft Craftsman Door



Flat board railing detail

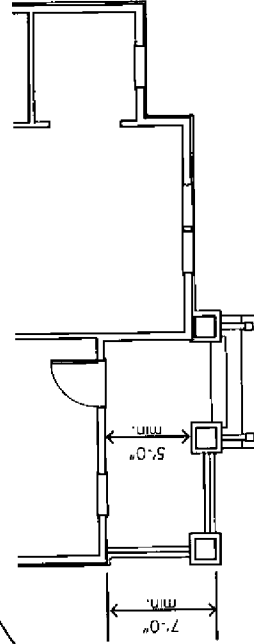
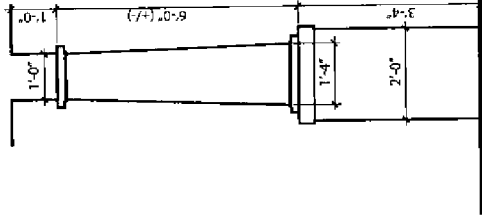
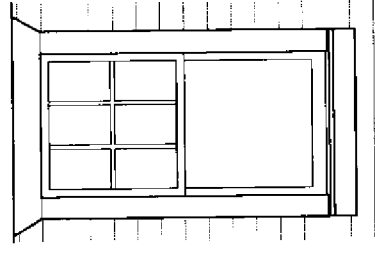
HardiePlank Lap Siding Smooth or Select Cedarmill. If Cedarmill (rough finish) is used, then use 5/4 Smooth HardieTrim Boards at corners.

4" min. wood mullion between ganged windows

Window surround detail. Flat casing, angled extended header, and extended sill. 5.5" 5/4 Smooth HardieTrim Boards.

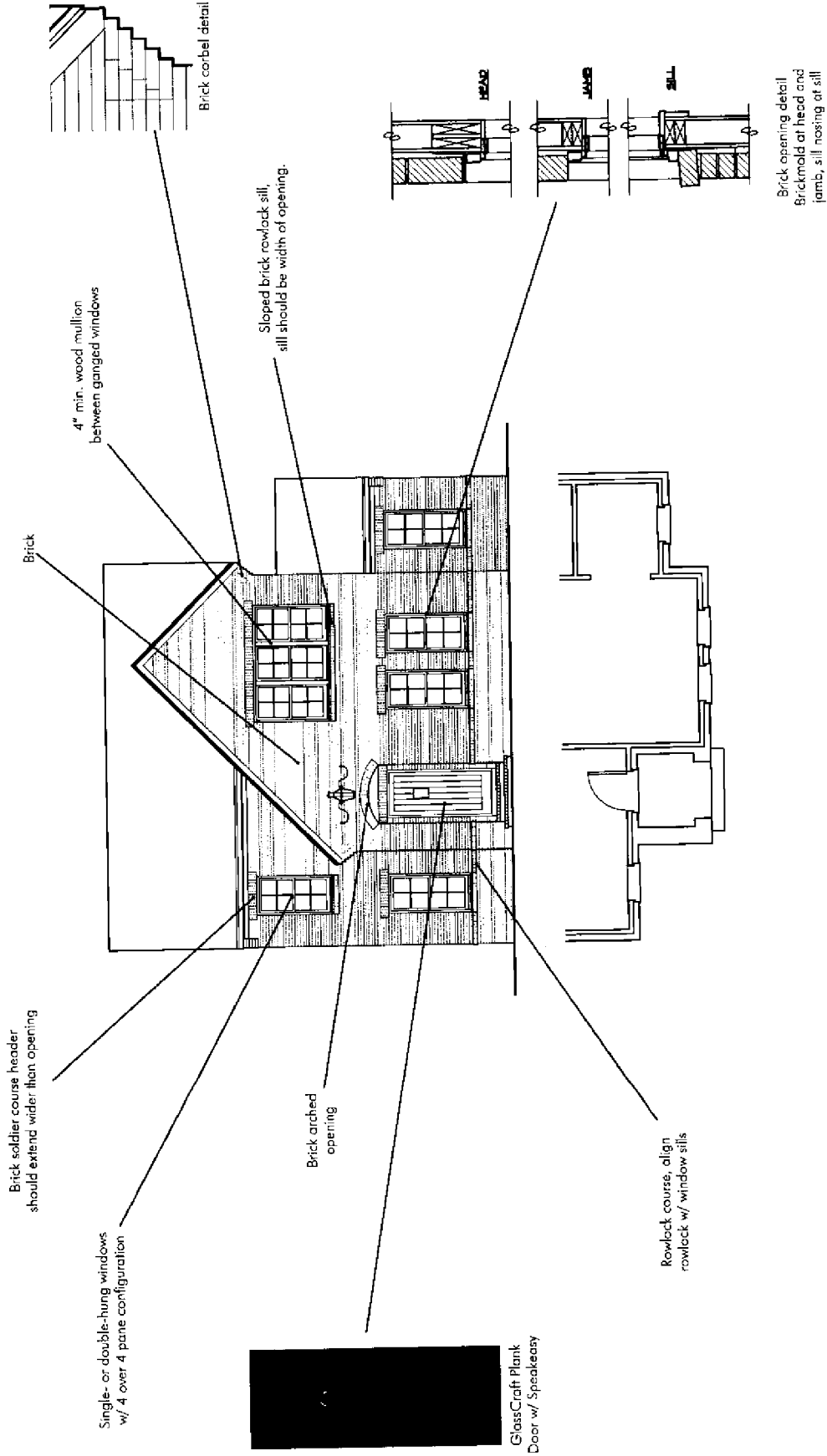
Square tapered columns wrapped over P.I. post w/ brick base

Brick water table w/ rowlock course at top



STYLE APPLICATION EXAMPLES

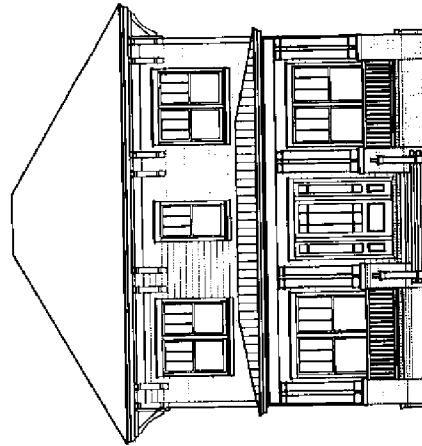
EUROPEAN ROMANTIC



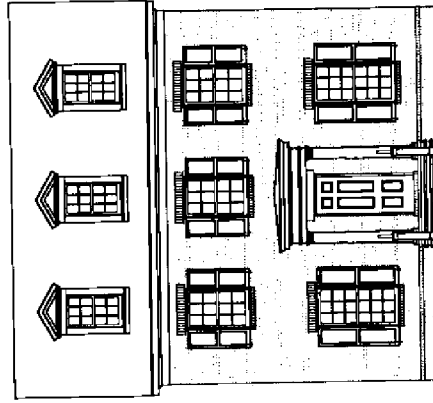
GlassCraft Plank
Door w/ Spokeasy

STYLE APPLICATION EXAMPLES

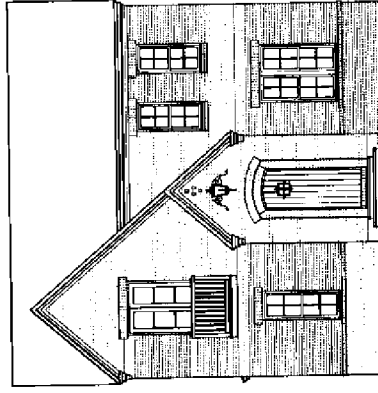
EXAMPLE SET B



Craftsman



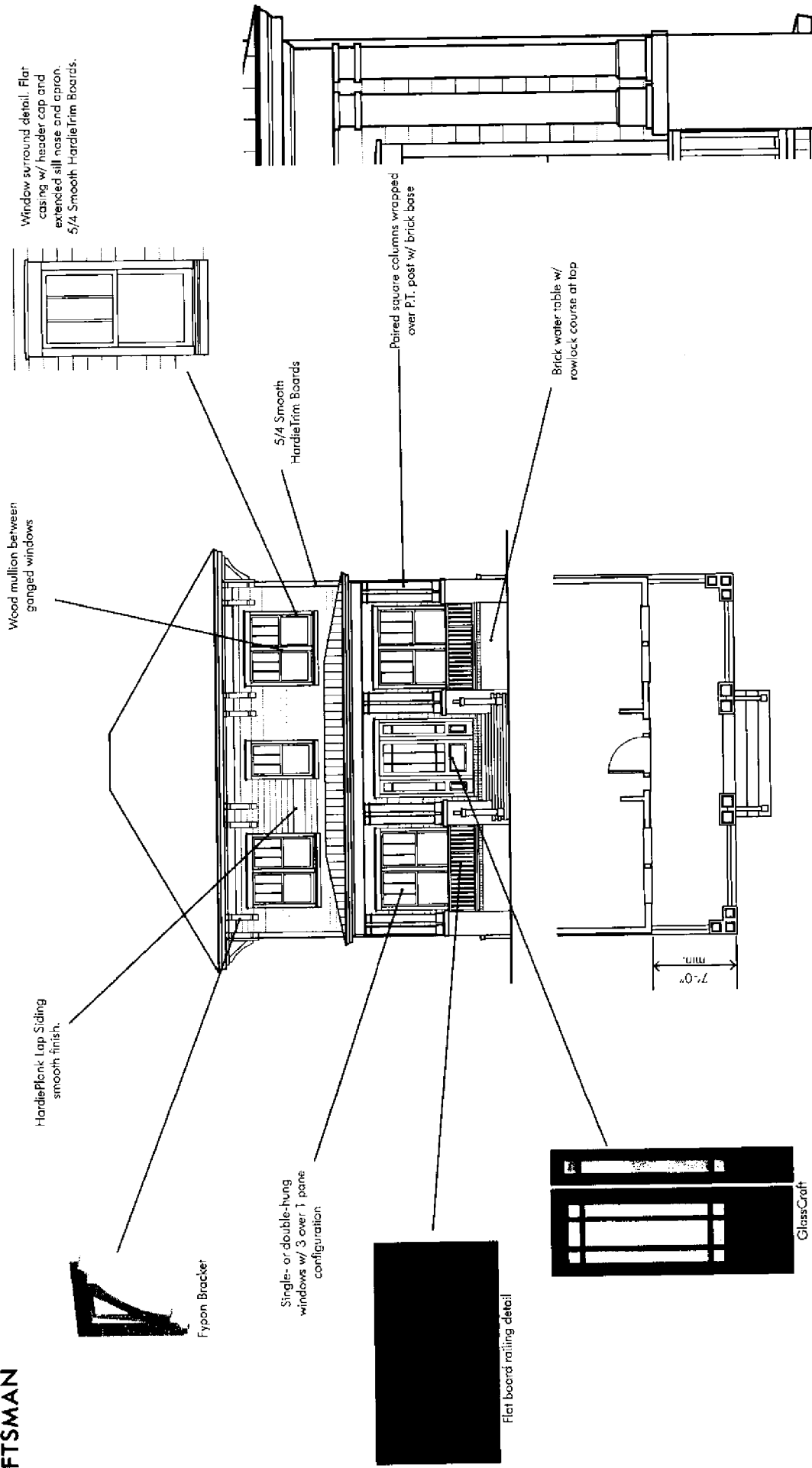
American Colonial



European Romantic

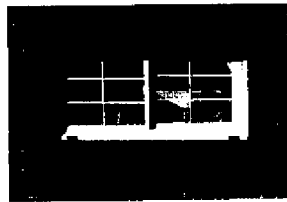
STYLE APPLICATION EXAMPLES

CRAFTSMAN

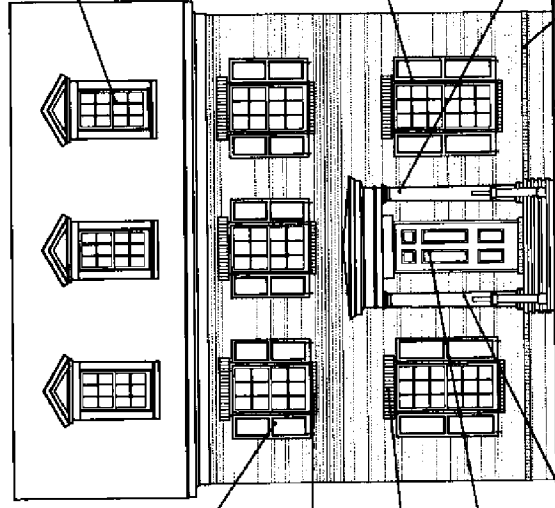
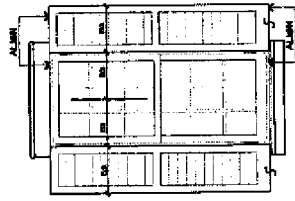


STYLE APPLICATION EXAMPLES

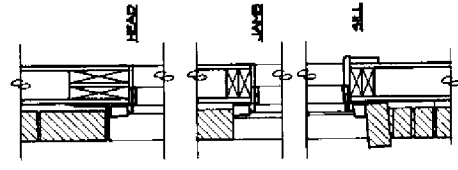
AMERICAN COLONIAL



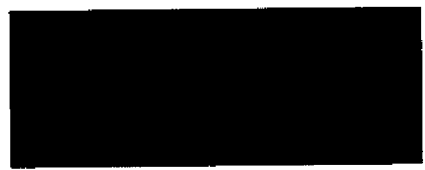
Lowered or raised panel shutters. Shutters should be sized to match window sizes.



Dormer detail.



Brick opening detail
Brick mold at head and jamb, sill nosing at sill



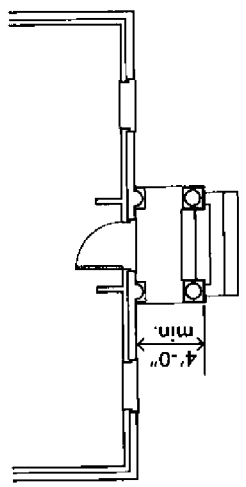
GlassCraft
6 Panel Door

Brick header, soldier course header should extend wider than opening

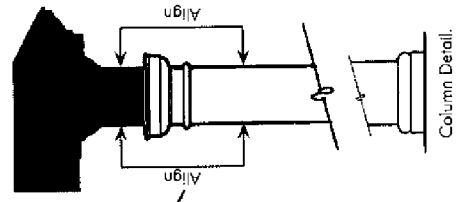
Brick rowlock sill
Sill should be width of opening.



Entry Detail



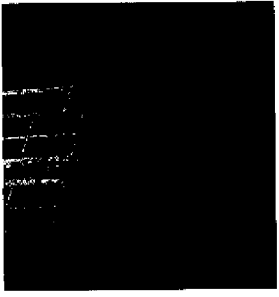
Rowlock course



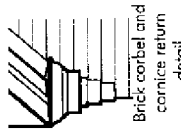
Column Detail.

STYLE APPLICATION EXAMPLES

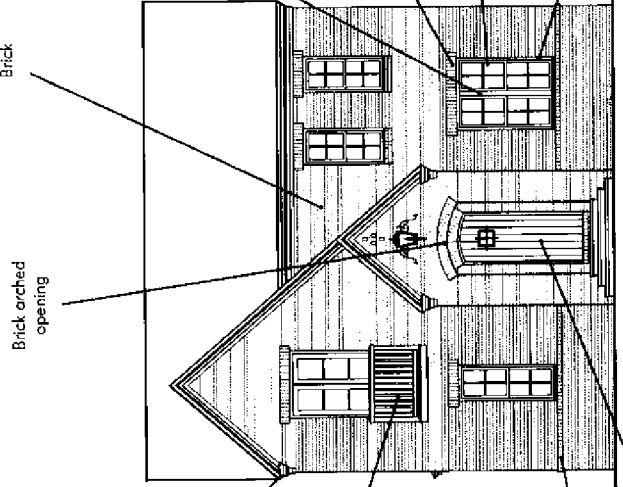
EUROPEAN ROMANTIC



French doors with Juliet Balcony. Balcony can be shallow, but it should have a floor that you can step out onto.



Brick corbel and cornice return detail



Brick

Brick arched opening

4" min. wood mullion between ganged windows

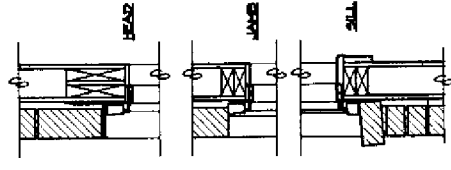
Brick soldier course header. Should extend wider than opening

Single- or double-hung windows w/ 4 over 4 pane configuration

Rowlock course. Align rowlock w/ window sills



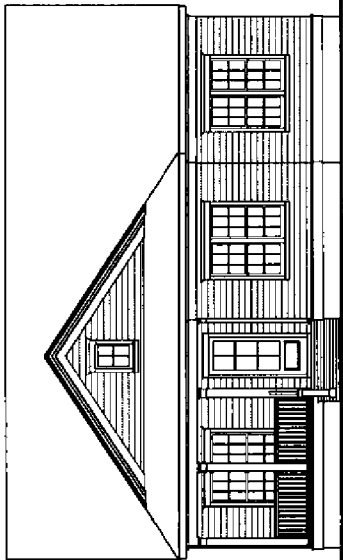
Glass Craft Arch Top Plank Door w/ Spandrel



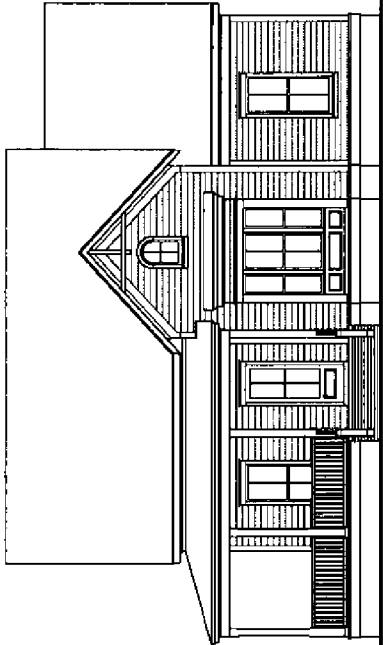
Brick opening detail. Brickmold at head and jamb, sill mousing at sill

STYLE APPLICATION EXAMPLES

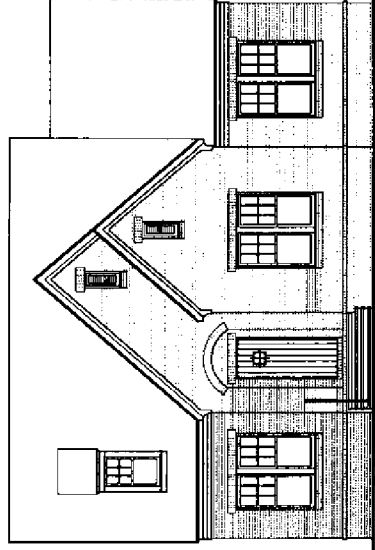
EXAMPLE SET C



American Colonial



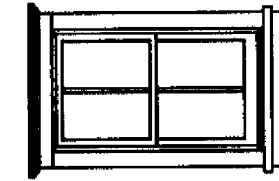
Texana Farmhouse



European Romantic

STYLE APPLICATION EXAMPLES

AMERICAN COLONIAL



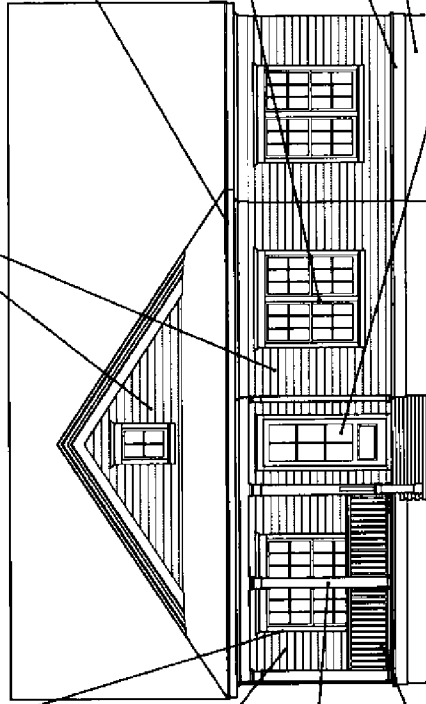
Window surround detail flat casing for head and jambes with 2" cornice and extended sill nose and apron

Single- or double-hung windows w/ 6 over 6 pane configuration

HardiePlank Lap Siding Smooth



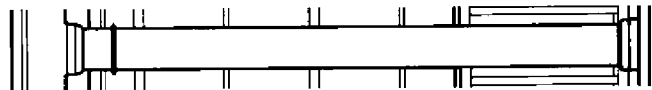
Cornice detail (continue cornice across elevation instead of using cornice returns).



4" min. wood mullion between ganged windows

HardieTrim

Parge coat



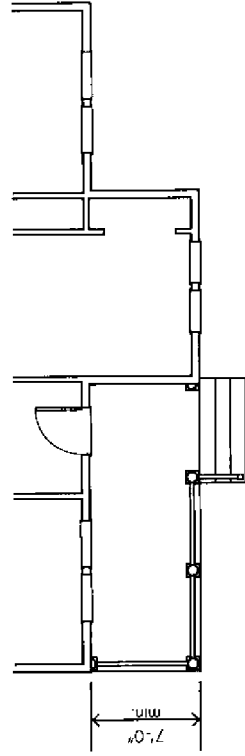
8" diameter round column with classical proportions



2x2 square picket handrails

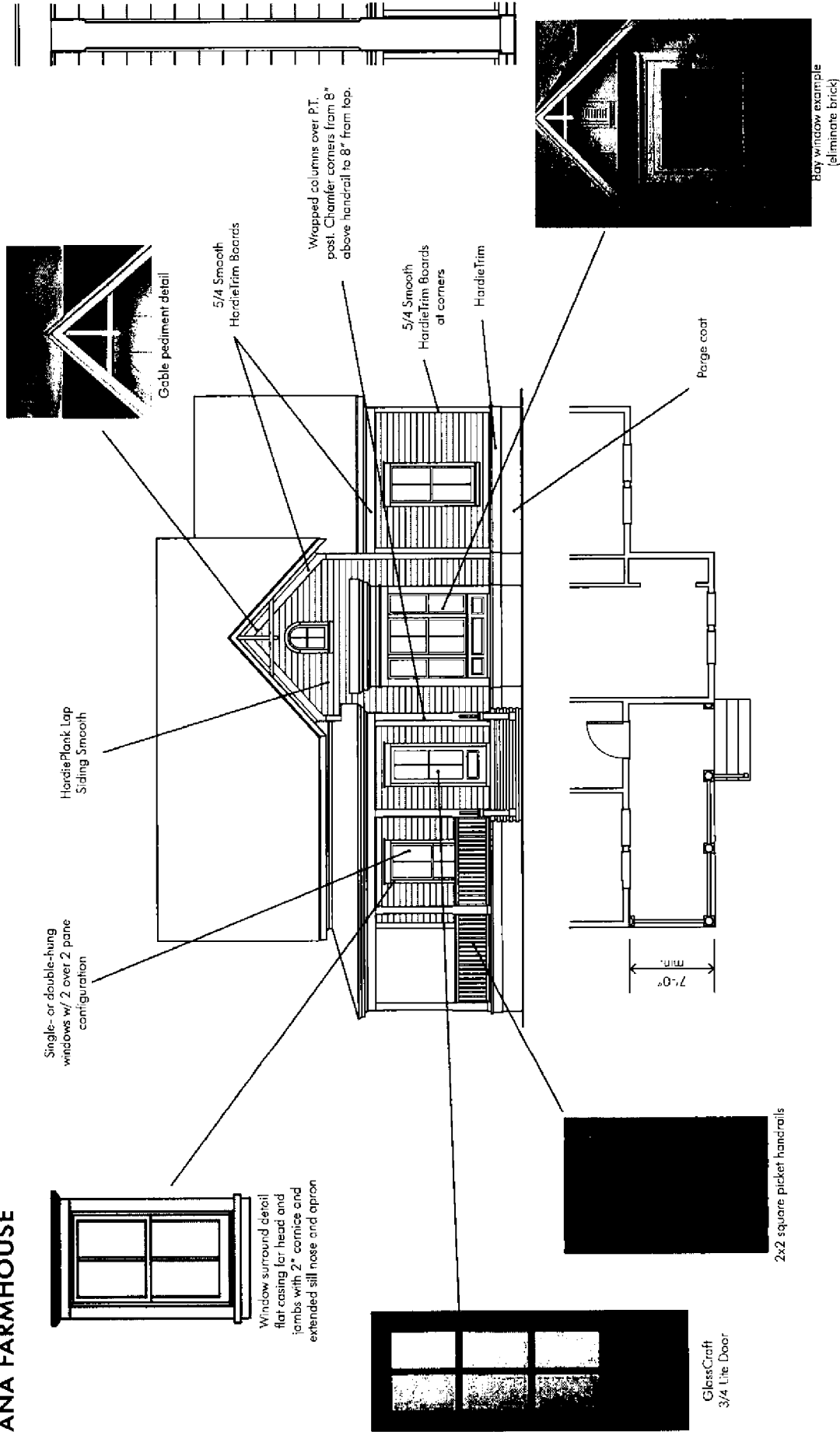


ClassCraft 6 Lite Door



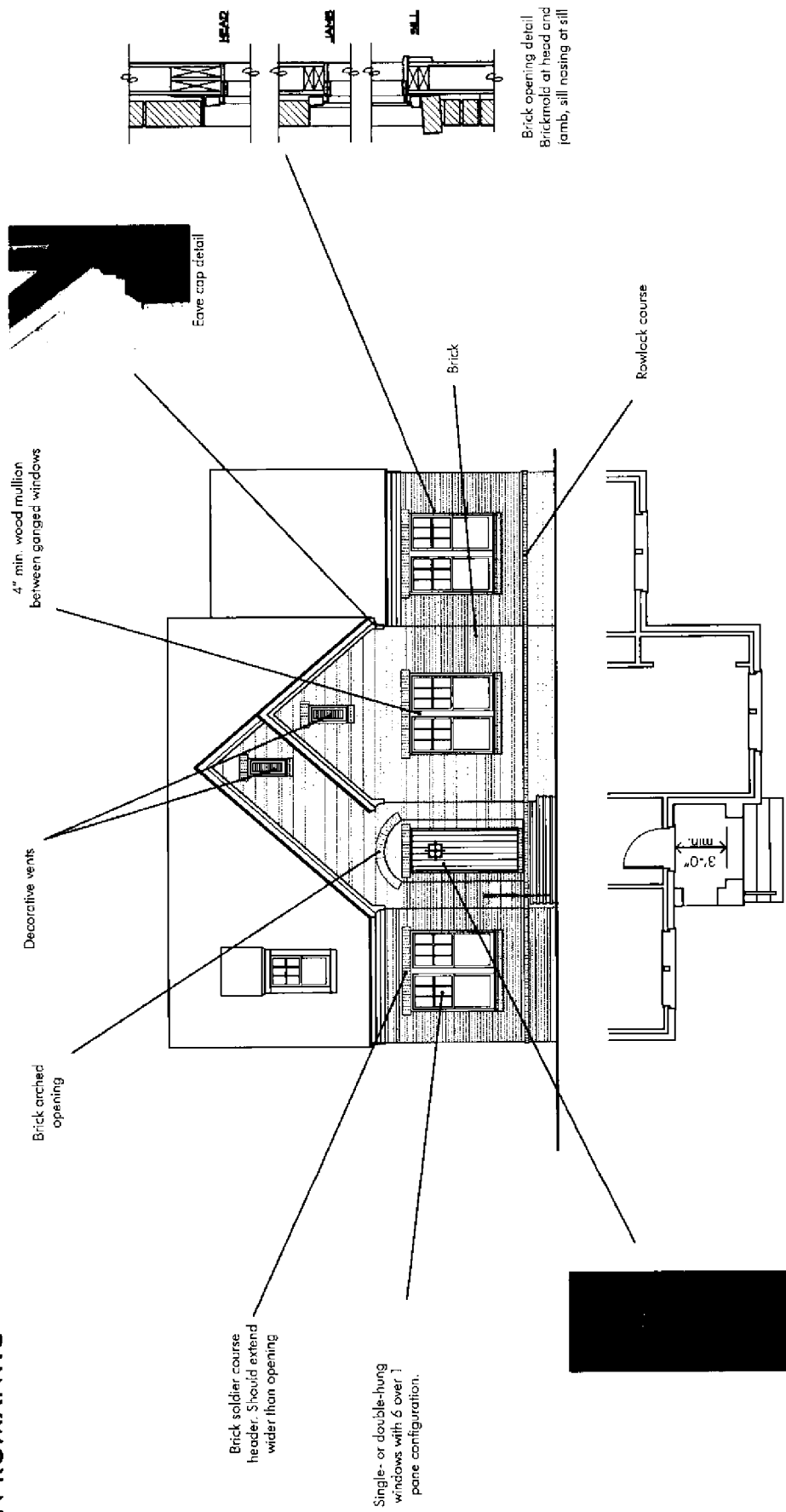
STYLE APPLICATION EXAMPLES

TEXANA FARMHOUSE



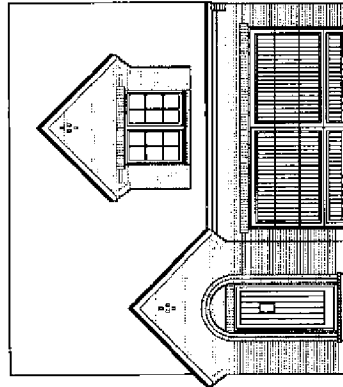
STYLE APPLICATION EXAMPLES

EUROPEAN ROMANTIC

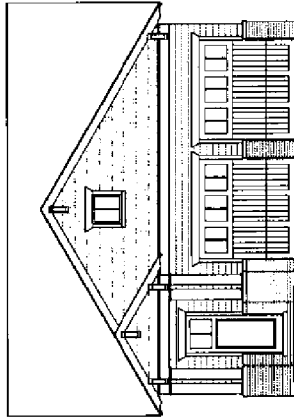


STYLE APPLICATION EXAMPLES

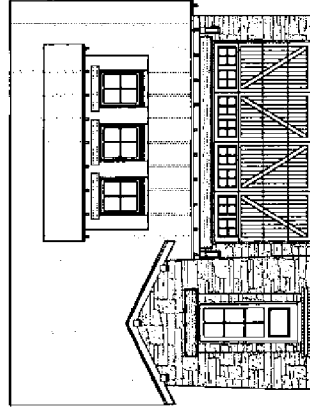
EXAMPLE SET D



European Romantic



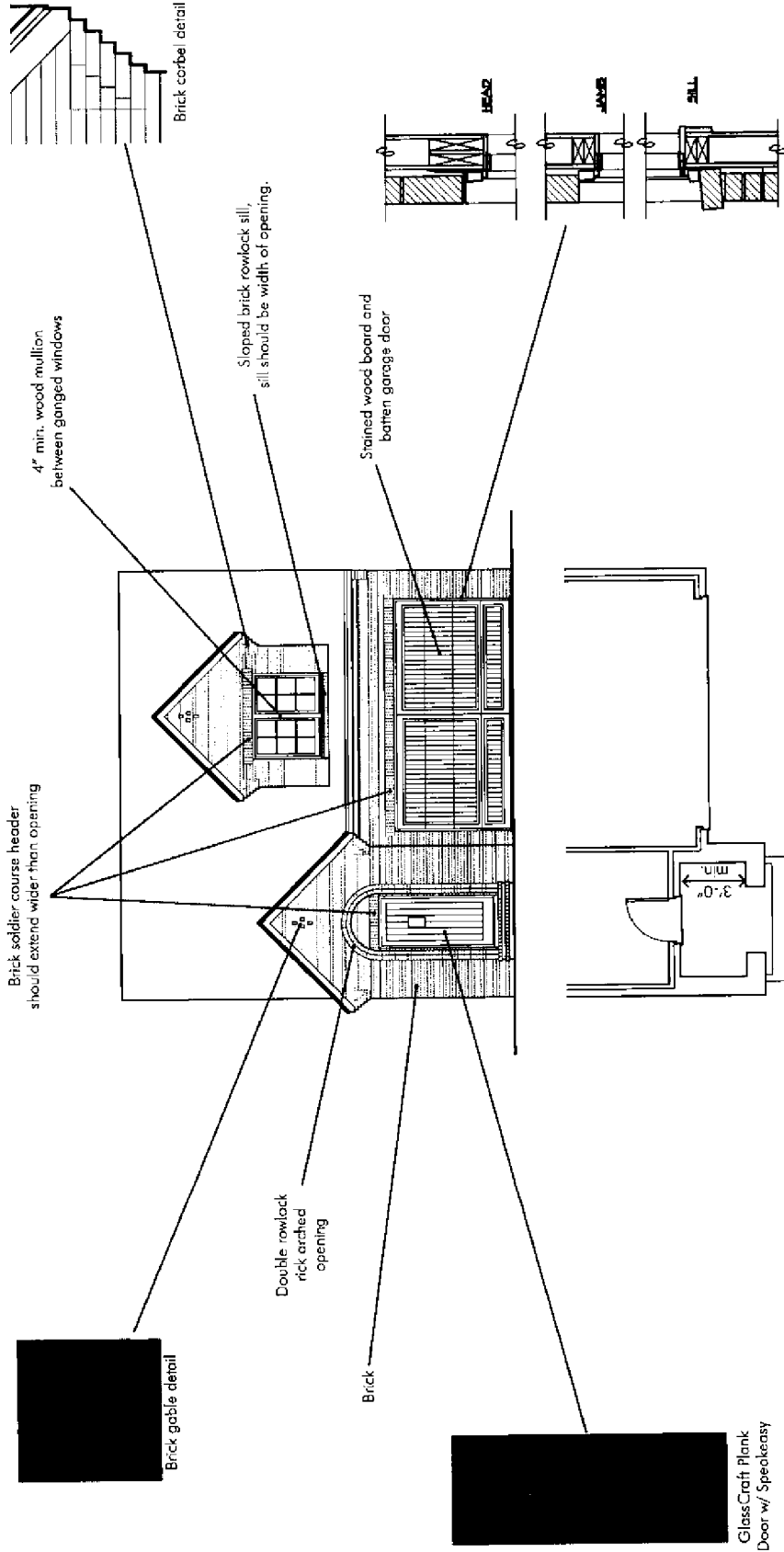
Texana Farmhouse



Hill Country

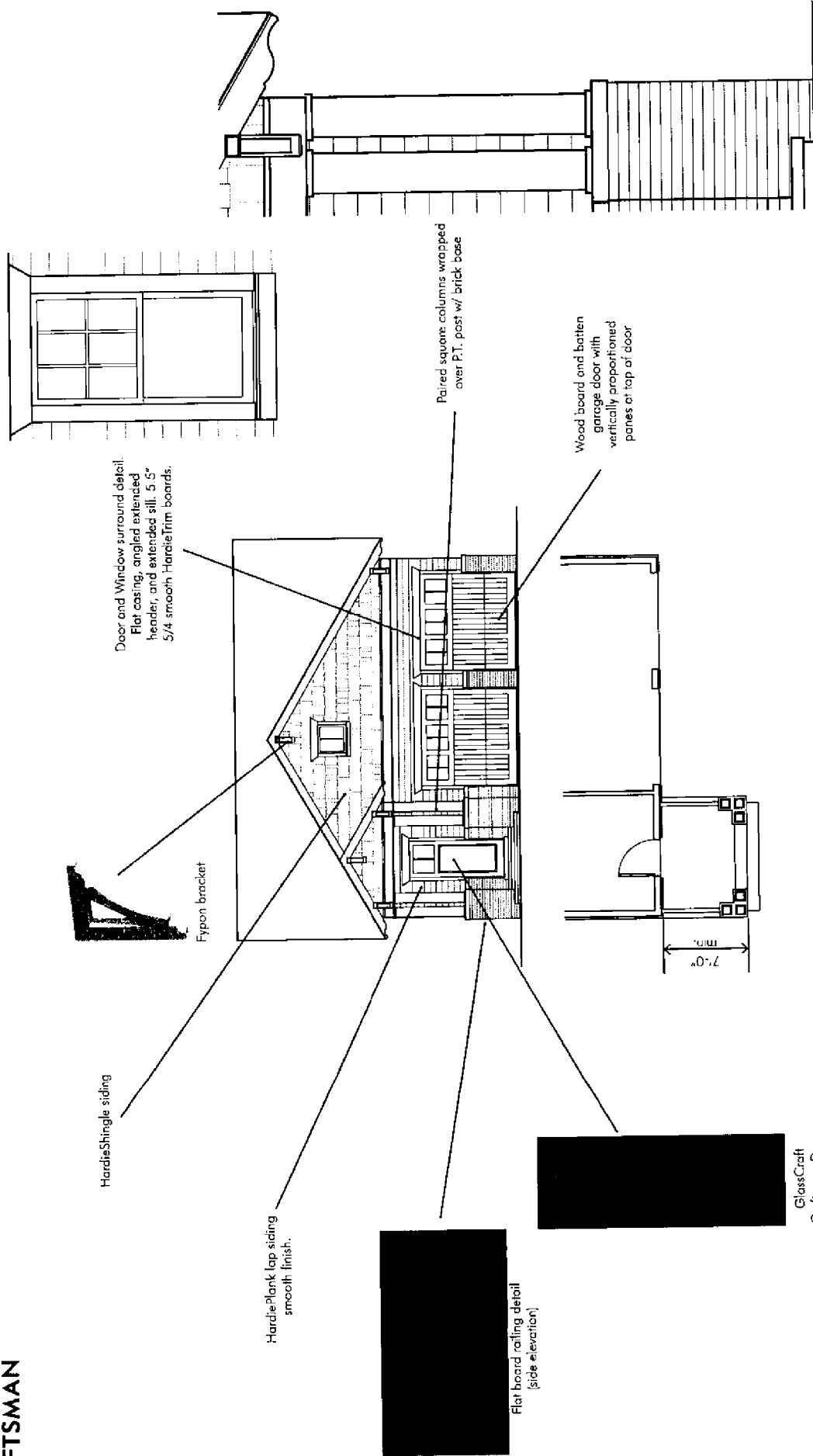
STYLE APPLICATION EXAMPLES

EUROPEAN ROMANTIC



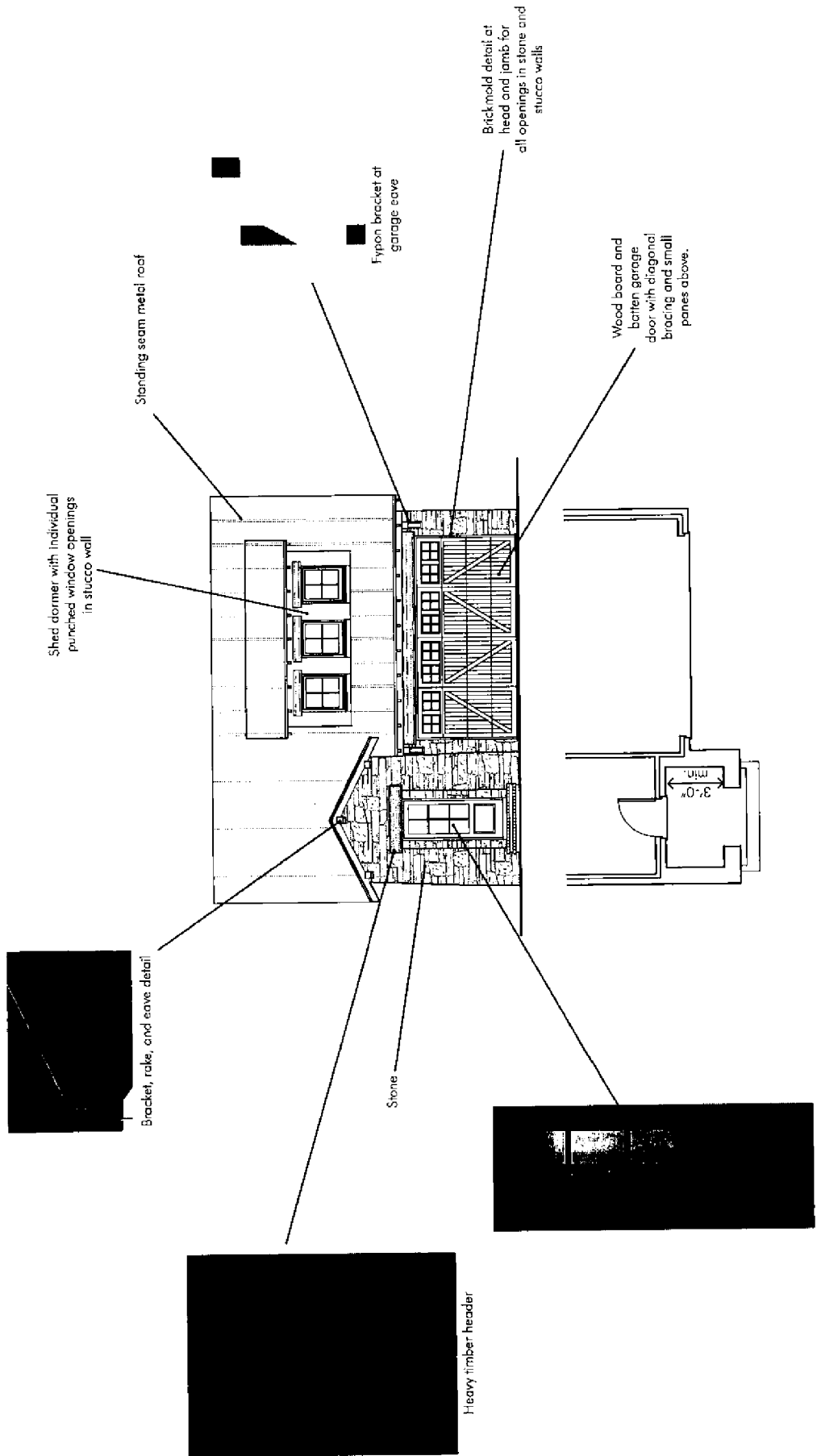
STYLE APPLICATION EXAMPLES

CRAFTSMAN



STYLE APPLICATION EXAMPLES

HILL COUNTRY



GlassCraft
2/3 Class 6 Lite Door
(use clear glass)

LANDSCAPE GUIDELINES

**RESIDENTIAL LOT LANDSCAPE
TREE PLANTING
FENCING
APPROVED PLANT LIST**

LANDSCAPE GUIDELINES

LANDSCAPE OVERVIEW

Landscapes play a key role in establishing the quality and character of the neighborhoods at Midtown Reserve. The goal is to create an environment that is aesthetically pleasing, is maintainable, and conserves resources.

The landscape guidelines for Midtown Reserve have three primary goals:

- Ensure a high quality, aesthetically compatible landscape in each yard
- Ensure a generous distribution of trees throughout the community, including formal street trees on major thoroughfares
- Ensure high quality fencing, especially where it abuts the public right-of-way.

RESIDENTIAL LOT LANDSCAPE REQUIREMENTS

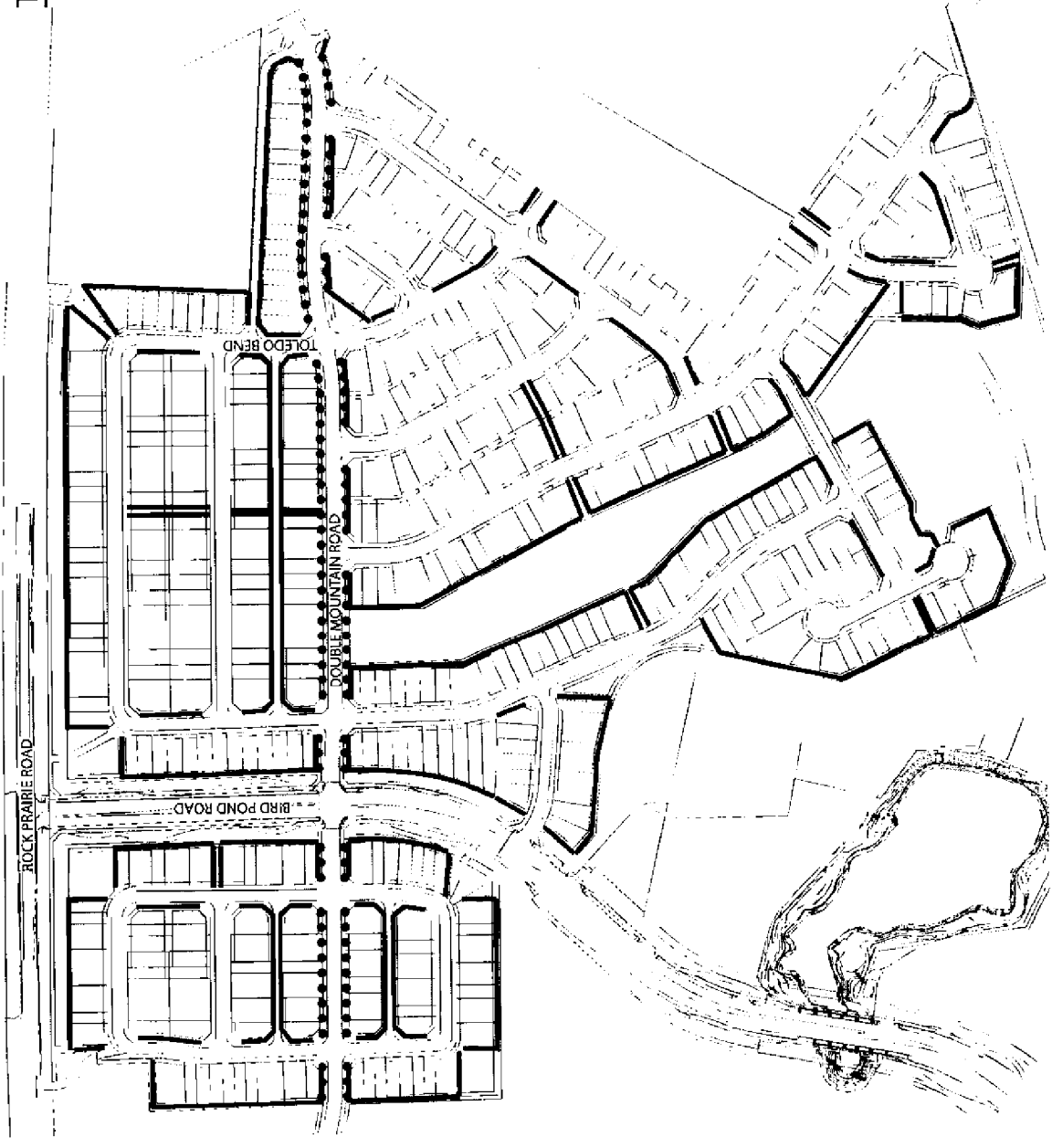
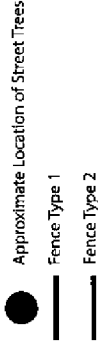
The following minimum landscape requirements apply to all residential lots in Midtown Reserve.

- For 25' and 30' lots, a minimum of (10) 5-gallon shrubs must be provided in the front yard.
- For 40' and larger lots, a minimum of (15) 5-gallon shrubs must be provided in the front yard.
- (3) 1-gallon shrubs may be substituted for (1) 5-gallon shrub, (3) 3-gallon shrubs, may be substituted for (2) 5-gallon shrubs.
- Corner lots require an additional (5) 5-gallon shrubs and at least 25% of shrubs must be planted in the side yard.
- All areas of the front yard that are not landscape beds must be planted with solid Bermuda sod and irrigated in its entirety. For corner lots, any area in the side yard that is not behind a fence must also be planted with solid Bermuda sod and irrigated in its entirety.
- The tree lawn must be planted with solid sod and irrigated in its entirety for all lots. The tree lawn is defined as the landscape bed between the sidewalk and the curb located within the public right-of-way.
- All planting beds shall be edged with steel edging, concrete curb, stone edging, or other edging as approved by the Reviewer. Plastic or rubber edging is not permitted.
- All planting beds shall receive 3" depth hardwood mulch.
- All yards shall be landscaped with species from the Approved Plant List, substitutions may be approved by the Reviewer.
- Plantings shall vary in height and texture. At least (4) different species (not including turf and trees) shall be utilized in each yard. At least (3) species must be evergreen.
- No more than 80% of the total landscape area of any lot may be composed of irrigated turf.
- Landscape areas that are less than 5' wide between paving, buildings, and/or fences may not be turf.
- Clear space above public sidewalks shall be 8' minimum.
- Irrigation systems must comply with TCEQ. Use of water efficient drip irrigation is encouraged wherever practical and use of evapotranspiration (ET) and/or weather-based controllers is strongly encouraged.

LANDSCAPE GUIDELINES

TREE PLANTING REQUIREMENTS

- ☐ 25' and 30' lots shall provide (1) 3" caliper canopy tree
- ☐ 40' and larger lots shall provide (2) 3" caliper canopy trees
- ☐ Corner lots must provide (3) 3" caliper canopy trees
- ☐ (1) 4" caliper canopy tree and (1) 15-gallon ornamental trees may be substituted for (2) 3" caliper canopy trees for either typical or corner lots, so long as all required street trees (described below) are included.
- ☐ To encourage species diversity, no more than 25% of all trees provided by a single homebuilder within the overall development shall be of the same species.
- ☐ Street trees are required at approximately 40' O.C. within the tree lawn on specific streets indicated in the Street Tree and Fencing Diagram.
- ☐ Street trees shall be 4" caliper and shall be of the species indicated on the plan. Required Street trees will count toward the tree planting requirements above and are exempt from the species diversity requirement.
- ☐ Street trees shall be located 4' outside of the sidewalk within the front yard or side yard. P.U.E.
- ☐ The master developer will stake approximate locations for these trees. If a stake is located directly in front of a lot and/or beside a corner lot, the builder for that lot is required to provide the tree or trees in the size and species indicated by the master developer. Each lot must provide all street trees indicated adjacent to that lot, regardless of whether the number of trees exceeds the minimum requirements above.
- ☐ Street tree species on Double Mountain Road shall be as follows:
 - West of Bird Pond Road: Mexican Sycamore (*Platanus mexicana*)
 - Between Bird Pond Road and Toledo Bend: Chinquapin Oak (*Quercus muhlenbergii*)
 - East of Toledo Bend: Cedar Elm (*Ulmus crassifolia*)



LANDSCAPE GUIDELINES

FENCING REQUIREMENTS

Fencing at Midtown Reserve will play an integral role in defining edges and setting boundaries. A range of fence types and functions are proposed and will work together to create a clean appearance, well defined spaces, and a consistent aesthetic. Location for enhanced fence types are specified on the Street Tree and Fencing Diagram.

The following types of fences are proposed in the residential areas of Midtown Reserve

Fence Type 1

Open Space Fence:
For any lot abutting the linear parks along Bird Pond Road and Rock Prairie or other parks, the homebuilder will be required to provide a 6' ornamental metal fence with inset wood pickets to a height of 42" with wooden trim. These locations are designated on the Street Tree and Fencing Diagram. A representative image of fence type 1 is provided, reference the Open Space Fence rendering for height of wood pickets. The master developer will provide a fence detail and common fabricator that must be utilized for all instances of Fence Type 1. In addition, masonry columns may be provided as part of this fence but will be constructed by the master developer and are not the responsibility of the homebuilder.

Fence Type 2

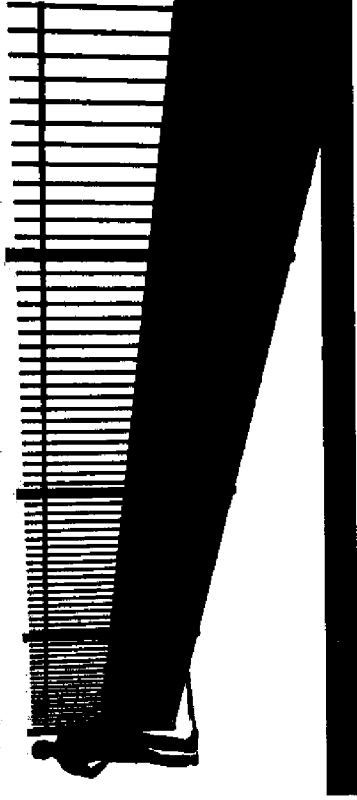
Enhanced Privacy Fence:
For any privacy fence that faces a public ROW or alley, a vertical horizontal rail fence with wood cap and trim is required. A representative image is provided in this document. The primary instances of this are the side yard fences on corner lots and end lots and fences facing alleys and interior open spaces. These locations are designated on the Street Tree and Fencing Diagram. Additionally, this fence type is required for the front-facing fences on either side of the house on all lots.

Fence Type 3

Interior Privacy Fence:
For interior privacy fences between adjacent lots, a typical 6' wooden privacy fence should be provided. This applies to all side and rear lot lines not indicated for another fencing type on the Street Tree and Fencing Diagram.

Fence Type 4

Front Yard Fence:
Front yard fences are any fence in front of the front face and/or within the building setback of any lot. These fences are generally discouraged. If provided, they are limited to 3'-6" in height, must be at least 50% open, and shall be designed to match the architectural character of the home.



LANDSCAPE GUIDELINES

APPROVED PLANT LIST

Plant material shall meet or exceed the plant quality and species standards of the current American Standard for Nursery Stock and shall be selected from the following plant list. Alternate plant materials may be allowed but must be submitted and approved by the reviewer.

Canopy Trees

- Cedar Elm
 - Chinese Pistache
 - Chinquapin Oak
 - Drake Elm
 - Live Oak*
 - Mexican Sycamore
 - Mexican White Oak*
 - Shumard Oak
- The following additional canopy trees are permitted only on lots 50' wide or larger as well as in parks and open space.
- Bald Cypress
 - Bur Oak
 - Southern Magnolia*
 - Ulmus crassifolia*
 - Pistacia chinensis*
 - Quercus muhlenbergii*
 - Ulmus parviflora Drake'*
 - Quercus virginiana*
 - Platanus mexicana*
 - Quercus polymorpha*
 - Quercus shumardii*
 - Toxodium discichium*
 - Quercus macrocarpa*
 - Magnolia grandiflora*

Ornamental Trees

- American Holly*
- Carolina Cherry Laurel*
- Coppertone Loquat*
- Crape Myrtle 'Natchez'
- Flamelaf Sumac
- Leyland Cypress*
- Magnolia 'Little Gem'*
- Mexican Plum
- Possumhaw Holly
- Texas Mountain Laurel*
- Texas Redbud
- Wax Myrtle*
- Yaupon Tree*
- Eriobotrya deflexa*
- Lagerstroemia 'Natchez'*
- Rhus lanceolata*
- Cupressus x leylandii*
- Magnolia grandiflora 'Little Gem'*
- Prunus mexicana*
- Ilex decidua*
- Sophora secundiflora*
- Cercis canadensis*
- Myrica cerifera*
- Ilex vomitoria*

Shrubs

- Abelia*
- American Beautyberry
- Aromatic Sumac
- Belinda's Dream Rose
- Blue Point Juniper*
- Buttonbush
- Dwarf Palmetto
- Dwarf Wax myrtle*
- Dwarf Yaupon*
- Indian Hawthorn*
- Knock out Rose*
- Mutabilis Rose*
- Pineapple Guava*
- Rock Rose*
- Rosemary*
- Sandankwa Viburnum*
- Texas Sage 'Greencloud'*
- Texas Sage 'Thundercloud'*
- Abelia grandiflora*
- Callicarpa americana*
- Rhus aromatica*
- Juniperus chinensis 'Blue Point'*
- Rosa hybrida 'Belinda's Dream'*
- Cephalanthus occidentalis*
- Sabal minor*
- Myrica pumila*
- Ilex vomitoria 'nana'*
- Raphiopholis indicio*
- Rosa radrazz*
- Hibiscus mutabilis*
- Acaciaellowiana*
- Pavonia lasiopetalia*
- Rosemarinus officinalis*
- Viburnum suspensum 'Sandankwa'*
- L. frutescens 'Greencloud'*
- L. frutescens 'Thundercloud'*

Perennials

- Baby Sun Coreopsis
- Bicolor Iris*
- Blue Mistflower
- Canna Lily
- Coralberry
- Daylily*
- Fall Obedient Plant
- Esperanza Yellow Bells
- Flame Acanthus
- Lantana 'New Gold'
- Mexican Bush Sage
- Plumbago
- Prairie Verbena
- Russian Sage
- Turk's Cap
- Zexmenia
- Coreopsis grandiflora 'Baby Sun'*
- Dieris bicolor*
- Conoclinium coelestinum*
- Canna spp.*
- Symphoricarpos orbiculatus*
- Hemerocallis spp.*
- Tecoma stans*
- Physostegia virginiana*
- Acanthus wrightii*
- Lantana x hybrida 'New Gold'*
- Salvia leucantha*
- Plumbago auriculata*
- Glandularia bipinnatifida*
- Perovskia atriplicifolia*
- M. arboreus var. drummondii*
- Wedelia acapulcensis var. hispida*

Ornamental Grasses

- Bamboo Muhly
- Big Muhly
- Dwarf Hameln
- Gulf Muhly
- Maiden Grass
- Mexican Feathergrass
- Muhlenbergia dumosa*
- Muhlenbergia lindheimeri*
- Pennisetum alopecuroides 'Hameln'*
- Muhlenbergia capillaris*
- Miscanthus sinensis 'Gracillimus'*
- Nasella tenuissimo*

Succulents/Accents

- Sago Palm*
- Softleaf Yucca*
- Red Yucca 'Brakelights'*
- Cycas revoluta*
- Yucca recurvifolia*
- Hesperaloe parviflora 'Brakelights'*

Groundcovers and Vines

- Asian Jasmine*
- Boxtail Fern*
- Berkeley Sedge*
- Fig Ivy*
- Katie's Ruellia*
- Liriope*
- Mondo grass*
- Passion Flower
- Purple Heart*
- Star Jasmine*
- Texas Sedge*
- Trailing Rosemary*
- Trumpet Vine
- Virginia Creeper
- Trachelospermum asiaticum*
- Asparagus sprengeri*
- Carex divalva*
- Ficus pumila*
- Ruellia simplex 'Katie'*
- Liriope muscari*
- Ophiopogon japonicus*
- Passiflora incarnata*
- Setcreasea pallida 'Purple Heart'*
- Trachelospermum jasminoides*
- Carex texensis*
- Rosmarinus officinalis 'Prostratus'*
- Parthenocissus quinquefolia*
- Campsis radicans*
- Bouteloua dactyloides*
- Cynodon dactylon*

Turfgrasses

- Buffalo Grass
- Common Bermuda
- Tifway 419 Bermuda
- Celebration Bermuda
- TifGrand Bermuda
- TifSport Bermuda
- Zoylia

* denotes evergreen species

ARCHITECTURAL GUIDELINES ADDENDUM

Construction Plan Review and Inspection:

Pursuant to the CCRs, all plans for construction of Improvements on a Lot must be submitted to and approved by the Architectural Committee prior to the commencement of such construction. The Architectural Committee shall charge a \$200.00 fee for plan review, each time a set of plans is submitted. The Architectural Committee may all elect to conduct an inspection of the Improvements being constructed to confirm conformity with the approved plans, and in such case the Architectural Committee shall charge a \$200.00 fee for such an inspection. While the Architectural Committee may choose to inspect the improvements more than once, only one inspection fee of \$200.00 shall be charged unless there is a discrepancy between the constructed improvements and the plans necessitating another inspection.

Landscape Rules and Regulations Summary:

The vision for the Lakeway Reserve community includes “unique” landscaping and a well-manicured yard. If all owners and builders contribute to this theme, it will attribute to a beautiful and unique community for the residents to enjoy. So that we can accomplish this vision, we have provided some additional guidelines for the builders to follow. Landscape and sod must be installed by builders on or before substantial completion of any newly constructed residence. Builders can use an “Approved” landscape contractor that the Architectural Committee has pre-approved based on the landscaper’s work and familiarity with the community’s CCR’s OR the builder may use its own landscaper and submit a landscape plan to the Architectural Committee for approval.

If the builder chooses to submit a plan for approval, the plan must include the following and the landscape cannot be installed until the builder has received approval:

- Name of the landscaper including contact
- Information Plant List
- The dimensions of the flower beds
- If there is a border to the planters, it must include the specs and materials to be used

Approved Landscape Contractors for Lakeway Reserve:

Greener Images	979-220-9088
Hitt’s Landscaping	979-690-6244
Landscape Expressions	979-778-8087

The requirements when designing your home’s landscaping are as follows:

- Minimum \$1,000 landscaping package (not to include trees)
- Use different types and textures of plants instead of all shrubs and lirope
- Annuals should be used as accent color but should not make up the substantial part of the landscape
- Two living trees at least two (2) inches in diameter must be maintained or planted in the front or side yard. Newly planted trees must be evergreen trees.
- In addition to the above items, three (3) of the following six (6) items are required:
 1. Flower beds must be a minimum of 6’ deep (measuring from the foundation)
 2. Accent boulders within the landscaping
 3. Stone border around planters
 4. Wrap outside corner of house next to garage and carry down the side 3’
 5. Two (2) 15-gallon plants within the planter(s) (flowerbed)
 6. Planter (flowerbed) – along front porch or down each side of driveway

**Brazos County
Karen McQueen
County Clerk**

Instrument Number: 1515554
Volume : 18922
ERecordings - Real Property

Recorded On: November 09, 2023 08:02 AM

Number of Pages: 58

" Examined and Charged as Follows: "

Total Recording: \$254.00

******* THIS PAGE IS PART OF THE INSTRUMENT *******

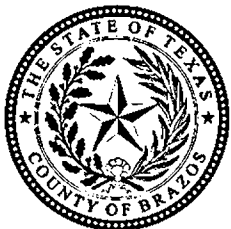
Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.

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Station: CCLERK01

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5072 NORTH 300 WEST
PROVO UT 84604



STATE OF TEXAS
COUNTY OF BRAZOS

I hereby certify that this Instrument was FILED In the File Number sequence on the date/time printed hereon, and was duly RECORDED in the Official Public Records of Brazos County, Texas.

Karen McQueen
County Clerk
Brazos County, TX